



# AGENDA

Lincoln City Planning Commission  
Tuesday, November 16, 2021, 6:00 PM  
Zoom, Streamed LIVE on Zoom  
801 SW Highway 101 - 3rd Floor, Streamed LIVE on Zoom, Lincoln City, OR 97367

1. **CALL TO ORDER, PLEDGE OF ALLEGIANCE, & ROLL CALL**
2. **AGENDA CHANGES OR REVISIONS**
3. **MINUTES**
  - 3.1. Planning Commission - Regular Meeting - Nov 2, 2021 6:00 PM
4. **FINAL ORDERS, RESOLUTION, & WRITTEN COMMUNICATIONS**
5. **PUBLIC HEARINGS/DELIBERATIONS**
  - 5.1. ZOA 2021-05 Lighting Ordinance (continued to November 16, 2021)
  - 5.2. PUD 2021-02 SUB 2021-01 Lincoln Palisades VI A 36-lot subdivision/planned unit development of 7.57 acres in the R-1-7.5 zone
6. **OLD BUSINESS**
7. **NEW BUSINESS**
8. **PLANNING COMMISSION TRAINING**
9. **REPORTS AND COMMENTS**
10. **FUTURE AGENDA ITEMS & NEXT MEETINGS**
11. **ADJOURN**

*All information for this meeting is available on the City of Lincoln City website at [www.lincolncity.org](http://www.lincolncity.org), and this meeting will be televised live on Charter Channel 4 Lincoln City and rebroadcast at various times. Planning Commission meetings are streamed live on the Internet through a link on the City of Lincoln City website, and can also be viewed following the meeting. The meeting location is accessible to persons with disabilities. A request for an interpreter for the hearing impaired, for a hearing impaired device, or for*

*other accommodations for persons with disabilities, should be made at least 48 hours in advance of the meeting to the City Recorder, at 541-996-1203.*

**LINCOLN CITY PLANNING COMMISSION  
MINUTES  
November 2, 2021**

**1. CALL TO ORDER, PLEDGE OF ALLEGIANCE, & ROLL CALL**

<b>Attendee Name</b>	<b>Title</b>	<b>Status</b>	<b>Arrived</b>
Robert Vincent	Commissioner	Present	
Mellissa Sumner	Commissioner	Present	
Marci Baker	Chair	Present	
Kim Blackerby	Commissioner	Excused	
Lenny Nelson	Commissioner	Late	6:19 PM
Miles Schlesinger	Commissioner	Excused	
MacNeale Smith	Commissioner	Present	

**2. AGENDA CHANGES OR REVISIONS**

No changes or revisions to the agenda.

**3. MINUTES**

**3.1. Planning Commission - Regular Meeting - Oct 19, 2021 6:00 PM**

**MOTION:** Motion to adopt the minutes from the October 19, 2021 Planning Commission meeting  
**MOVER:** **Robert Vincent, Commissioner**  
**SECONDER:** **MacNeale Smith, Commissioner**  
**AYES:** Vincent, Sumner, Baker, Nelson, Smith  
**EXCUSED:** Kim Blackerby, Miles Schlesinger  
**RESULT:** **Passed**

**4. FINAL ORDERS, RESOLUTION, & WRITTEN COMMUNICATIONS**

**4.1. FO 2021-05 for CUP 2021-01**

**MOTION:** Motion to approve FO 2021-05 for CUP 2021-01  
**MOVER:** **Robert Vincent, Commissioner**  
**SECONDER:** **Marci Baker, Chair**  
**AYES:** Vincent, Sumner, Baker, Nelson, Smith  
**EXCUSED:** Kim Blackerby, Miles Schlesinger  
**RESULT:** **Passed**

**4.2. FO 2021-06 for VAR 2021-02**

<b>MOTION:</b>	Motion to approve FO 2021-06 for VAR 2021-02
<b>MOVER:</b>	<b>Robert Vincent, Commissioner</b>
<b>SECONDER:</b>	<b>Melissa Sumner, Commissioner</b>
<b>AYES:</b>	Vincent, Sumner, Baker, Nelson, Smith
<b>EXCUSED:</b>	Kim Blackerby, Miles Schlesinger
<b>RESULT:</b>	<b>Passed</b>

## 5. PUBLIC HEARINGS/DELIBERATIONS

### 5.1. ZOA 2021-05 Lighting Ordinance (continued to November 16, 2021)

<b>MOTION:</b>	ZOA 2021-05 Lighting Ordinance (continued to November 16, 2021)
<b>MOVER:</b>	<b>Marci Baker, Commissioner</b>
<b>SECONDER:</b>	<b>MacNeale Smith, Commissioner</b>
<b>AYES:</b>	Vincent, Sumner, Baker, Nelson, Smith
<b>EXCUSED:</b>	Kim Blackerby, Miles Schlesinger
<b>RESULT:</b>	<b>Motion to Continue - Passed</b>

## 6. OLD BUSINESS

None

## 7. NEW BUSINESS

None

## 8. PLANNING COMMISSION TRAINING

Planning and Community Development Director Anne Marie Skinner said that she is planning on having the City Engineer at the next meeting to talk about how traffic analysis is done. She read a list of thoughts for several topics for that conversation, provided by Commissioner Blackerby, and asked whether the other commissioners had any to add. Commissioner Vincent asked about a light and crosswalk that was going in near the rock quarry, but then went away. He said that he is curious why. Chair Baker asked how traffic is related or not to the Planning Commission and their jurisdiction, and how that falls into conditions (eg If an application doesn't have a traffic study, can it be put in conditions, etc?).

Ms Skinner reminded the commissioners of the Statewide Planning Goals that she sent out. Commissioner Vincent said that he would like a hard copy. Ms Skinner said that she would place a copy in the will-call drawer at the Planning counter. A couple of commissioners have given Ms Skinner their prioritized list of top-five planning goals to address. She said that she would like to get the top five from each commissioner by the end of November. She will then schedule a discussion on each of those goals.

Chair Baker said that in the Comprehensive Plan, the categories don't match up with the goals. She said that she found it difficult to know what needs to be revised and what just hasn't happened yet or hasn't happened in a long time. Aesthetics is an example - it is in the Comprehensive Plan but not in the statewide planning goals. Ms Skinner said that she would like to pull out the planning goals so that the Comprehensive Plan lines up with the statewide planning goals.

Commissioner Sumner asked where she can get more information on the lighting ordinance to prepare for the next meeting. Ms Skinner said that part of the reason it is continued is to revisit the entire topic with City Council before continuing with the topic. We have a lighting ordinance right now in LCMC 17.52.150, which commissioners can review, if they would like.

**9. PLANNER COMMENTS**

Commissioner Vincent suggested a question and answer session with Ms Skinner for the public, maybe on television, much like was done at a Chamber of Commerce lunch recently. Chair Baker supported the idea.

**10. FUTURE AGENDA ITEMS & NEXT MEETINGS**

The hearing for the lighting ordinance might happen at the next meeting. There will be a public hearing for Lincoln Palisades Phase VI, subdivision, and PUD. Information will be in the packet that goes out on the 10th.

**11. ADJOURN**

Adjourned at 6:22

Respectfully submitted,

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James White  
Assistant Planner

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Marci Baker  
Chair

## Planning Commission Communication

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### ZOA 2021-05 Lighting Ordinance

Meeting Date: November 16, 2021      Primary Staff Contact: AnneMarie Skinner  
Department: Planning Commission      E-Mail: ASkinner@lincolncity.org  
Secondary Dept:      Secondary Contacts:  
Approval:      Estimated Time:

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The City Council withdrew the ordinance initiation on November 8, 2021, so the ordinance will not be going forward.

# Planning Commission Communication

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## PUD 2021-02 SUB 2021-01 Lincoln Palisades VI

Meeting Date: November 16, 2021      Primary Staff Contact: AnneMarie Skinner  
 Department: Planning Commission      E-Mail: ASkinner@lincolncity.org  
 Secondary Dept:                              Secondary Contacts:  
 Approval:                                      Estimated Time:

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### Question:

Should the Planning Commission approve, approve with conditions, or deny the requested PUD 2021-02 SUB 2021-01 Lincoln Palisades VI for a 36-lot subdivision/planned unit development?

### Staff Recommendation:

Staff recommends the Planning Commission approve with conditions PUD 2021-02 SUB 2021-01 Lincoln Palisades VI.

### Authority:

Lincoln City Municipal Code (LCMC) Title 16 Subdivisions  
 LCMC Chapter 17.76 Procedures  
 LCMC 17.77.120 Planned Developments

### Background:

See attached Staff Report

### Planning Commission Options:

1. Hold the public hearing. Close the public hearing and the record. Deliberate. Motion to approve, approve with conditions, or deny.
2. Hold the public hearing. Continue the public hearing with an open record.
3. Hold the public hearing. Close the public hearing, but keep the record open and set date to submit additional items, and meeting date to deliberate and move to approve, approve with conditions, or deny.

### Potential Motions:

1. Motion to approve PUD 2021-02 SUB 2021-01 Lincoln Palisades VI with the conditions listed in the staff report;

**OR**

2. Motion to approve PUD 2021-02 SUB 2021-01 Lincoln Palisades VI with the following modifications to the conditions listed in the staff report...

**OR**

3. Motion to deny PUD 2021-02 SUB 2021-01 Lincoln Palisades VI because the application as submitted does not meet the following code requirements...

**Attachments:**

Staff Report PUD 2021-02 SUB 2021-01 (PDF)

Applicant Applications (PDF)

Applicant CCRs (PDF)

Applicant Narrative (PDF)

Applicant Prelim Master Plan Set (PDF)

Applicant Tree Inventory (PDF)

Comments Dunne (PDF)

Comments Stoelb (PDF)

Site Map and Zoning Map (PDF)

# Staff Report

## Planning Commission Hearing on November 16, 2021

### Case File PUD 2021-02 SUB 2021-01 Lincoln Palisades VI

**Date:** November 8, 2021

**Case File:** PUD 2021-02 SUB 2021-01 Lincoln Palisades VI

**Applicant:** Steve Lindell dba Alpha Building Ventures, LLC  
PO Box 688  
McMinnville, OR 97128  
stephenlindell6@gmail.com

**Property Owner:** Steve Lindell dba Alpha Building Ventures, LLC  
PO Box 688  
McMinnville, OR 97128

**Situs Address:** Unaddressed

**Location:** Intersection of NE 51st Loop and NE Wave Lane

**Tax Map and Lot:** 06-11-35-CD-00102

**Comprehensive Plan Designation:** Medium-Density Residential District (R-7.5)

**Zoning District:** Single-Family Residential (R-1-7.5) Zone

**Site Size:** Approximately 7.57 acres

**Proposal:** Preliminary master plan/preliminary plat for the planned unit development/subdivision of Lincoln Palisades VI, to subdivide the 7.57-acre site into 36 lots intended for construction of detached single-family dwellings

**Surrounding Land Uses and Zones:**  
North: Single-family dwellings (Lincoln Palisades V); R-1-7.5  
South: Single-family dwellings (Pacific Rim Estates); R-1-7.5  
East: Undeveloped (The Villages); R-1-7.5  
West: Single-family dwellings (Lincoln Palisades II); R-1-7.5

**Public Notice:** The Planning and Community Development Department mailed notice of the public hearing to the owners of all properties within 500 feet of the site on October 27, 2021. The *News Guard* published the public hearing notice on November 2, 2021. The applicant posted a notice of the public hearing on the site at least 10 days prior to November 16, 2021.



**Authority:** Lincoln City Municipal Code (LCMC) 17.76.050.G states that Table 17.76.020-1 identifies the decision authority for each Type III application. Table 17.76.020-1 of LCMC Chapter 17.76 identifies a planned unit development/subdivision as a Type III application with the decision authority given to the Planning Commission.

**Applicable** LCMC Title 16 Subdivisions  
**Substantive** LCMC Chapter 17.16 Single-Family Residential (R-1) Zone  
**Criteria:** LCMC Section 17.76.050 Type III Procedure  
 LCMC Section 17.77.120 Planned Developments

### **BACKGROUND**

The subject property (site) is undeveloped and comprises approximately 7.57 acres. The site is bordered by NE Wave Lane as its northwesterly boundary. There is a stub of NE 51st Loop in the southwesterly area of the site, and another stub of NE 51st Loop in the northwesterly portion of the site where it intersects in a tee with NE Wave Lane. The site is surrounded by single-family detached development to the north, south, and west (Lincoln Palisades II, Lincoln Palisades V, and Pacific Rim Estates). The area to the east of the site is the undeveloped The Villages that is owned by Lincoln City.

On July 14, 2021, Alpha Building Ventures, LLC submitted the current application for Lincoln Palisades VI. The proposal is to subdivide the site's 7.57 acres into 36 lots as a planned unit development/subdivision for future construction of single-family detached dwellings. Lincoln Palisades VI will be constructed in one phase and will include the dedication of approximately 4.5 acres of the site's 7.57 acres as public street right-of-way for use by the public. No dedications to the city, and no other public dedications besides the street right-of-way, are proposed.

### **COMMENTS**

Patrick Dunne emailed comments on November 2, 2021. The full text of the email and the accompanying attachments are included as part of this staff report. Mr. Dunne notes that "more roads" are needed "to ease congestion and provide quicker emergency response" and provides suggested escape routes.

The proposed project is providing the street improvements, circulation, and connectivity that is required by the code. There are two ways in and out of the development, there is circulation through the development, and both stubs of NE 51st Loop are being extended, with one of the extensions going to the eastern boundary line for future connectivity with future development of The Villages. The proposed street improvements exceed the minimum code requirement for local streets.

George (Tim) and Joyce Stoelb emailed comments on November 5, 2021. The full text of the email is included as part of this staff report. The Stoelbs questioned the minimum lot sizes, narrow road frontage, tree plantings, maintenance of Tract A, installation of streetlights, proposed traffic controls, and safety concerns regarding evacuation.

The minimum lot size in the R-1-7.5 zone is 7,500 square feet, with a minimum width of 70 feet. Many of the proposed lots do not meet those standards. The proposed streets are local streets with a 50-foot-wide right-of-way to be dedicated to the public. The proposed right-of-way width exceeds the minimum city requirement, and all proposed lots have at least 25 feet of frontage on a street. The city's code does not provide specific requirements for tree planting in a subdivision or planned unit development. Individual lots, at the time of house construction, must be landscaped with a minimum of one tree per 150 feet of total lot perimeter, one shrub per 30 feet of total lot perimeter, and sufficient number of living ground cover plants to cover 10% of the gross area of the lot within three years of planting. The submitted tentative plan shows a proposed Tract A to the north of proposed Lot 1, comprising 2,794 square feet. Nothing on the tentative plan indicates the purpose of the proposed 2,794-square-foot Tract A, or who will own or maintain it. As a condition of

approval, the final master plan shall state the purpose of Tract A and who will own and maintain it. Streetlights and traffic control signs will be installed by the developer as needed to be compliant with city standards for streetlights and traffic signage. The proposed project is providing the street improvements, circulation, and connectivity that is required by the code. There are two ways in and out of the development, there is circulation through the development, and both stubs of NE 51st Loop are being extended, with one of the extensions going to the eastern boundary line for future connectivity with future development of The Villages. The proposed street improvements exceed the minimum code requirement for local streets.

### **ANALYSIS**

#### *Chapter 17.16 Single-Family Residential (R-1) Zone*

#### *17.16.070 Lot requirements*

*The map designations R-1-5, R-1-7.5, and R-1-10 create separate single-family residential zoning classifications as though separately listed in LCMC 17.12.010. Lot requirements for the zoning classifications designated on the zoning map shall be as follows:*

<b>REQUIRED MINIMUMS</b>								
<i>Zone</i>	<i>Lot Area</i>	<i>Lot Width</i>	<i>Lot Depth</i>	<i>Front Yard<sup>(3)</sup></i>	<i>Side Yard</i>	<i>Street Side Yard<sup>(3)</sup></i>	<i>Rear Yard</i>	<i>Maximum Lot Coverage<sup>(5)</sup></i>
<i>R-1-5</i>	<i>5,000 sq. ft.; 8,000 for duplex or two-family</i>	<i>50' detached; 35' attached</i>	<i>70'</i>	<i>5<sup>(1)</sup> 7-1/2<sup>(2)</sup></i>	<i>5<sup>(1)</sup> 7-1/2<sup>(2)</sup> or 0' for common wall of attached dwellings</i>	<i>5<sup>(1)</sup> 7-1/2<sup>(2)</sup></i>	<i>5<sup>(1)</sup> 7- 1/2<sup>(2)</sup></i>	<i>35%<sup>(4)</sup></i>
<i>R-1-7.5</i>	<i>7,500 sq. ft.; 8,000 for duplex or two-family</i>	<i>70' detached; 35' attached</i>	<i>80'</i>	<i>same as above</i>				<i>35%<sup>(4)</sup></i>
<i>R-1-10</i>	<i>10,000 sq. ft.</i>	<i>80'</i>	<i>80'</i>	<i>same as above</i>				<i>35%<sup>(4)</sup></i>

**Finding:** The site is in the R-1-7.5 zone, which has a minimum lot area requirement of 7,500 square feet for lots for detached dwellings, with a minimum lot depth requirement of 70 feet for detached dwellings and a minimum lot width requirement of 80 feet. The application proposes 36 lots ranging in area from 5,096 to 14,515 square feet. Out of the 36 proposed lots, 24 of them do not meet the minimum area requirement of 7,500 square feet. The minimum lot width is 70 feet. A review of the submitted materials shows that most of the lots range in width from 50 to 56 feet, which is narrower than the minimum requirement. A review of the submitted materials shows that all the lots meet the minimum depth requirement of 80 feet. Lot size and lot width is addressed later in the staff report in the planned unit development criteria.

Setbacks and minimum lot coverage are not applicable for this application since the application does not include any building permit applications. Setbacks and maximum lot coverage will be reviewed on a house-by-house basis during the review of the building permit application, once submitted.

#### *17.16.075 Landscaping*

**Finding:** Landscaping for the individual lots will be reviewed on a house-by-house basis during the review of the building permit application, once submitted. Chapter 17.16 does not have a landscaping requirement for

the development as a whole. Landscaping for the overall planned unit development is discussed later in the staff report under Section 17.77.120.

#### 17.16.080 Signs

**Finding:** The application does not propose any signs.

#### 17.16.090 Off-street parking and loading

*Off-street parking and loading shall be provided in accordance with Chapter 17.56 LCMC.*

**Finding:** This is an application for planned unit development/subdivision preliminary plan approval. No building permit applications are included. When the building permit applications are submitted, they will be reviewed for compliance with the off-street parking requirement for a single-family detached dwelling on an individual lot. Building permits will not be issued unless the permit applications demonstrate compliance with the off-street parking requirements.

#### 17.16.100 Other required conditions

*All single-family dwellings (site-built, modular and manufactured homes) to be constructed or located in residential zones shall use at least two of the following design features to provide visual relief along the front of the home:*

**Finding:** This is an application for planned unit development/subdivision preliminary plan approval. No building permit applications are included. When the building permit applications are submitted, they will be reviewed for compliance with the required design features. Building permits will not be issued unless the permit applications demonstrate compliance with the design feature requirements.

### Chapter 17.76 Procedures

#### 17.76.050 Type III procedure

- A. *General Description. Type III procedures apply to quasi-judicial permits and applications. Decisions on quasi-judicial permits and applications are made by either the planning commission or the city council, and require substantial exercise of discretion and judgment in applying approval criteria. Type III procedures require public notice and one or more public hearings.*
- B. *When Applicable. Table 17.76.020-1 identifies Type III applications. Applications not listed in Table 17.76.020-1 may be identified as Type III by the director based on the general description in this section.*
- C. *Pre-Application Conference. A pre-application conference is not required prior to application submittal of a Type III application, but is strongly encouraged. Guidelines for pre-application conferences are set forth in LCMC 17.76.090.*
- D. *Application Requirements. Type III applications shall:*
  1. *Be submitted on application forms provided by the department and shall include all information, exhibits, plans, reports, and signatures requested on the application forms.*
  2. *Be accompanied by the required fee as adopted by city council resolution.*
  3. *Be subject to the completeness review procedure set forth in LCMC 17.76.110(D) and (E).*

**Finding:** The required application forms and materials were submitted on July 14, 2021, along with the required fee. The application was deemed complete on September 29, 2021, in accordance with LCMC 17.76.110(D) and (E).

*E. Notice of Public Hearing*

1. *After a Type III application has been accepted as complete under LCMC 17.76.110(E), the department shall mail a written public notice to the following:*
  - a. *The applicant and applicant's representative;*
  - b. *Owner of record of the subject property;*
  - c. *Property owners of record within 250 feet of the perimeter property line of the property or properties subject to the application, using the most recently provided property tax assessment roll of the Lincoln County assessor's office as provided to the city to determine property owners of record;*
  - d. *Any neighborhood or community organization or association recognized by the governing body and whose boundaries include the site;*
  - e. *At the discretion of the applicant, the department shall also provide notice to the Oregon Department of Land Conservation and Development.*

**Finding:** The Planning and Community Development Department mailed the notice of public hearing to the parties noted in LCMC 17.76.050(E)(1)(a) through (d) on October 27, 2021. Property owners of record within 500 feet of the perimeter property line, rather than 250 feet, were notified as required by LCMC Title 16.

2. *The notice of public hearing provided shall include the following:*
  - a. *A brief description of the request;*
  - b. *A list of the applicable criteria from the ordinance and the comprehensive plan that apply to the application at issue;*
  - c. *The street address or other easily understood geographical reference to the subject property;*
  - d. *The date, time, and location of the hearing;*
  - e. *A statement that failure of an issue to be raised in a hearing, in person or by letter, or failure to provide statements or evidence sufficient to afford the decision maker an opportunity to respond to the issue precludes appeal to the Board based on that issue;*
  - f. *The name of a department staff member to contact and the telephone number where additional information may be obtained; and*
  - g. *A statement that a copy of the application, all documents and evidence submitted by or on behalf of the applicant, and applicable criteria are available for inspection at no cost and will be provided at reasonable cost;*
  - h. *A statement that a copy of the staff report will be available for inspection at no cost at least seven days prior to the hearing and will be provided at reasonable cost; and*
  - i. *A general explanation of the requirements for submission of testimony and the procedure for conduct of hearings.*

- F. *Public notices for Type III applications shall be mailed a minimum of 20 days prior to the first evidentiary public hearing.*

**Finding:** The notice of the public hearing on November 16, 2021, was mailed on October 27, 2021, by city staff. The notice contained all the required elements.

- G. *Decision Authority. Table 17.76.020-1 identifies the decision authority for each Type III application.*

**Finding:** Table 17.76.020-1 identifies the Planning Commission as the decision authority for a planned unit development/subdivision application.

*Chapter 17.77 Applications*  
*17.77.120 Planned development*

- A. *Purpose. It is the purpose of this section to allow master planned developments in any residential or commercial zone, or any combination of them, and, in doing so, to allow a more flexible approach to land development than that which is normally accomplished through the subdivision and zoning ordinances of the city. The planned development approach is intended to provide more desirable environments by encouraging creative site planning and building designs; to make possible greater diversification between buildings and open spaces; and to conserve land and minimize development costs. In addition to the uses allowed in residential zones, the planned development approach may allow certain commercial uses subject to the specific limitations of this section.*

**Finding:** The site is in the R-1-7.5 zone, which is a residential zone. Flexibility is requested in the form of smaller and narrower lots than that which is required in the R-1-7.5 zone. In return for the flexibility, the proposed project must show creative site planning and building designs, greater diversification between buildings and open space, and conservation of land to minimize development costs. The submitted plans do not show any site planning other than a standard subdivision layout. No building designs were included with the submitted materials. The project does not propose the dedication of any open space, and no land is being conserved in the project; rather, it's all being used for streets and lots. The applicant has not met the burden of proof of providing information showing how the purpose of the planned unit development is being met enough to justify the request for smaller, narrower lots.

- B. *Allowable Density. The allowable residential density in a planned development that meets only the minimum planned development standards is the "maximum base residential density" and shall be determined in the following manner:*
1. *Determine the gross square footage of the project site.*

**Finding:** The gross square footage of the site is 329,749.2 (7.57 acres).

2. *Subtract from the gross square footage the square footage of any areas proposed for nonresidential development, including commercial uses, places of worship, schools, and public buildings and their associated parking areas and grounds (including required yards and landscaping areas). The result is the "preliminary gross residential areas."*

**Finding:** The project does not propose any nonresidential development, so the preliminary gross residential area is 329,749.2 square feet.

3. *Subtract from the preliminary gross residential area the square footage of any areas of significant natural resources as identified in the comprehensive plan. The result is the "final net residential area."*

**Finding:** The comprehensive plan identifies significant wetlands bordering the site's north and south boundaries, and these are depicted on the applicant's submitted Sheet 2.0. The significant wetlands are not on the subject site, so there is nothing to subtract from the preliminary gross residential area. This leaves the final gross residential area at 329,749.2 square feet.

4. *Multiply the final gross residential area by 0.83. The result is the "final net residential area."*

**Finding:** 329,749.2 multiplied by 0.83 equals 273,691.8 as the final net residential area.

5. *Divide the final net residential area by the minimum lot size of the underlying zone. The result is the “maximum base residential density” expressed in dwelling units. Any number not a whole number shall be rounded down to a whole number.*

**Finding:** 273,691.8 divided by 7,500 (minimum lot size of the R-1-7.5 zone) equals 36.5, which rounds down to 36. The maximum number of dwelling units allowed is 36. The number proposed by the applicant is 36 lots. The proposal does not exceed the maximum allowed.

*C. Residential Density Bonuses.*

**Finding:** The application does not propose any residential density bonuses.

*D. Affordable Housing Bonus. An additional density bonus...*

**Finding:** The application does not propose any affordable housing bonus.

*E. Large-Scale, Mixed Use Planned Developments. This subsection sets forth special...*

**Finding:** At 7.57 acres, the site does not meet the minimum 100-acre criterion for a large-scale, mixed-use planned development, and no large-scale, mixed-use development is proposed.

- F. Preliminary Master Plan Application. The preliminary master plan, which must include a drawing showing the layout of the proposed planned development, must contain the following information:*
1. *Proposed name of the planned development;*

**Finding:** The submitted plan set identifies the proposed name of the planned development as Lincoln Palisades VI.

2. *Date, north point and scale of drawing;*

**Finding:** The submitted plan set provides a date, north arrow, and scale.

3. *Appropriate identification clearly stating that the drawing is a preliminary planned development master plan;*

**Finding:** Sheet 1.0 of the submitted plan set identifies the drawing set as the preliminary master plan for Lincoln Palisades Phase VI.

4. *Location of the planned development by section, township and range; a legal description sufficient to define the location and boundaries of the proposed planned development tract; and the tract designation or other description according to the real estate records of the county assessor;*

**Finding:** The section, township, range, and tract designation is provided on Sheet 1.0 of the applicant’s submitted plan set.

5. *A vicinity sketch map at a scale of one inch equals 400 feet showing adjacent property boundaries and land uses;*

**Finding:** The required vicinity sketch map is shown on Sheet 1.0 of the applicant’s submitted plan set.

6. *The following:*
- a. *Location, widths and names of all existing streets or other public ways within or abutting the planned unit development;*
  - b. *Contour lines having the following minimum intervals:*
  - c. *Location of at least one temporary benchmark within the planned unit development boundaries or the source of the contour line data shown...;*
  - d. *Location and direction of all water courses and natural features such as rock outcroppings, marshes and wooded areas, and the approximate locations of trees or stands of trees having a trunk... The plan must identify those water courses, natural features and areas of trees meeting the described criteria which are to remain and those which may be altered or removed;*
  - e. *Proposed streets, including location, widths and approximate radii or curves;*
  - f. *Location of existing and proposed easements on the site or abutting property, showing the width and purpose of each easement;*
  - g. *The types of housing proposed within the planned development, the approximate location or locations for each type of housing, and the approximate housing density proposed at each location;*
  - h. *Site, if any, allocated for:*
  - i. *Area coverage of existing and proposed structures, lots, streets or other development.*

**Finding:** Sheet 2.0 of the applicant's submitted plan set shows all existing conditions, including the location, widths, and names of existing streets; contour lines; and the location and direction of water courses and natural features. Existing trees are also shown, with indications of those to be removed and those to remain. Proposed streets are shown on Sheet 3.0 of the applicant's submitted plan set. The source of the contour line data is noted on Sheet 1.0 of the applicant's submitted plan set. Sheet 1.0 of the plan set also notes that 36 lots are proposed for single-family detached dwellings. Proposed easements are shown on Sheet 3.0 of the submitted plan set.

G. *Supplemental Preliminary Master Plan Information. The applicant also shall submit the following information to supplement the preliminary master plan. This information can be submitted in separate statements accompanying the preliminary master plan:*

1. *Proposed restrictions to be filed in the county deed records, in outline form, such as...*

**Finding:** The application materials included the Declaration of Protective Covenants, Conditions, Restrictions, and Easements.

2. *Approximate locations and anticipated grades of all streets. Typical cross-sections of the proposed streets showing widths of roadways, curbs, location and widths of sidewalks and the location and size of utility mains;*

**Finding:** Sheet 4.0 provides the utility layout plan for the project. Sheets 4.1 through 4.5 detail the streets, street grades, and typical cross-sections for the proposed streets.

3. *Approximate plan of proposed sanitary sewers, storm drains, storm water detention and drainage pretreatment facilities and the water distribution system;*

**Finding:** Sheet 4.0 of the submitted plan set provides the utility layout plan for the project.

4. *A general description of the property intended to be dedicated to the city or public...*

**Finding:** The submitted plan set shows no dedication of property to the city. The streets are shown as being dedicated to the public as public right-of-way. The applicant's narrative states that 4.5 acres of the site will be dedicated as public right-of-way for streets.

5. *A description of any residential density bonus...*

**Finding:** The applicant is not requesting any residential density bonuses.

6. *Proposed number of residential units;*

**Finding:** The applicant proposes 36 lots for the future construction of 36 single-family detached dwellings. This is also stated in the applicant's narrative in the project description.

7. *An approximate tabulation of all dwelling units by type;*

**Finding:** As noted on Sheet 1.0 of the submitted plan set, the project proposes 36 lots for single-family parcels. The applicant's narrative also states that the site will be "divided into 36 lots for detached, single-family dwellings."

8. *A narrative description of the planned development and the manner in which it meets the purpose set out in subsection (A) of this section;*

**Finding:** The submitted materials from the applicant included a narrative description of the project, with an explanation of how the project meets the purpose of a planned unit development. The applicant's narrative states the following:

"The purpose of Lincoln Palisades Phase VI is to utilize the flexible approach granted to development by the Planned Unit Development (PUD) process to provide detached, single-family housing to the City of Lincoln City. The subject parcel was created by partition in 2015 (Exhibit D). This partition divided the upland buildable area from the steep slopes and wetlands nearby. The result was a clear delineation between buildable land and preserved natural features. Because of the creative site planning and design permitted through a PUD, the proposed development can efficiently use the buildable land created by this partition. A conversion plan was submitted and approved with the partition application demonstrating how the property could be development [sic] to urban density (Exhibit E). The proposed preliminary master plan mostly conforms to this conversion plan. The proposed preliminary master plan complies with the purpose statement of LCMC 17.77.120 Planned Unit Development."

The required information has been submitted.

9. *A statement describing the present and proposed ownership;*

**Finding:** The applicant's narrative describes the present ownership as Alpha Building Ventures, LLC. The narrative states that Alpha Building Ventures, LLC will continue to own the site throughout the entitlement process, noting that Alpha Building Ventures, LLC might develop individual lots or sell lots to others for development. The required information is present in the application.

10. *A preliminary landscape plan, covering both areas to retain undisturbed, their natural vegetation and areas to be relandscaped;*

**Finding:** The submitted plan set includes Sheet 3.1 (Preliminary Landscape Plan & Tree Inventory) and Sheet 3.2 (Preliminary Landscape Plan & Tree Inventory Notes). The required information is present in the application.

*11. A circulation plan and traffic impact analysis identifying likely circulation patterns for and traffic impacts from traffic generated by the development including patterns and impacts within the development, in the area surrounding the development, and in other affected areas of the city;*

**Finding:** On page 7 and the top of page 8 of the applicant's narrative, the information for traffic impact and trip generation is provided. A full traffic impact analysis was performed for all six phases of Lincoln Palisades in 2013 by Access Engineering. The development of the planned-for lots in Lincoln Palisades VI does not warrant a new traffic impact analysis, since the proposed lots were accounted for in the 2013 analysis. Trip generation numbers were updated and provided by the applicant in the narrative. Trip generation for 36 single-family detached dwellings, as per the Ninth Edition of the Institute of Transportation Engineers Trip Generation Manual, is 45 PM peak hour trips. The addition of 45 PM peak hour trips does not trigger any requirements for improvements other than those proposed with the new public streets and traffic signage.

Sheet 3.0 of the submitted site plan shows the circulation plan for the project with the northerly NE 51st Loop stub extending to the eastern property line and the southerly NE 51st Loop stub extending to the east and then north as Street A, where it connects to the extended northerly NE 51st Loop. The proposed street layout provides two-way traffic circulation to all the new lots, excepting Lots 1 and 2 which will access from the existing NE Wave Lane, and Lot 3, which can access from either NE Wave Lane or NE 51st Loop. The new streets will be dedicated to the public with 50 feet of right-of-way, which meets the city's standards for local streets. The new street layout also provides two ways in and out of the project.

The requirement for traffic information is met.

*12. A statement whether the applicant proposes to submit the final master plan for review as a single master plan or in phases; a statement of the date or dates by which the applicant proposes to submit the final master plan or final master plan phases for review; and a statement of the date or dates by which the applicant anticipates that the development and related improvements or each phase thereof will be substantially completed;*

**Finding:** This required information is present in the applicant's narrative, which notes that the final master plan will be submitted as a single phase at the earliest opportunity. This requirement is met.

*13. A tree maintenance and protection plan, which shall contain the following information:*

**Finding:** Sheets 3.1 and 3.2 of the applicant's submitted plan set provide the preliminary landscape and tree plan. Sheet 3.2 lists the six existing trees on the site, but does not provide details on their condition other than noting Tree 1373 splits at the base into two trunks. The legend on Sheet 3.1 has a symbol for "existing tree to be removed" and one for "existing tree to be protected." However, it doesn't appear that either of those symbols are present on the plan itself shown on Sheet 3.1.

The three existing red alder trees are located within the area of the proposed sidewalk, so staff assumes these three red alder trees will be removed. Tree 5158 is in the northeast corner of what is shown as proposed Lot 4 on Sheet 3.1. Without indication of Tree 5158 being non-viable and unhealthy, Tree 5158 needs to be shown as being preserved on the final landscape and tree plan. Tree 1373, along with being noted as having a split base into two trunks, is also located in the middle of proposed Lot 33 as shown on Sheet 3.1. Its location precludes building of a structure on Lot 33, so Tree 1373 needs to be shown as being removed on the final

landscape and tree plan. Tree 1374 needs to be protected and preserved since it appears to be a healthy and viable tree.

As a condition of approval, the application materials submitted for the final master plan shall include a final landscape and tree plan that clearly depicts the location and identification of all six of the site's existing trees, the removal of the site's three red alder trees, the removal of Tree 1373, and the protection of Trees 1374 and 5158.

*H. Consideration of Preliminary Master Plan. Preliminary master plans shall be processed as a Type III procedure as set forth in LCMC 17.76.050. The planning commission's consideration of the preliminary master plan shall be subject to the following:*

**Finding:** The application for preliminary master plan approval has been processed as a Type III procedure as set forth in LCMC 17.76.050.

1. *The planning commission shall approve, or approve with conditions, the plan if it finds that the plan, either as submitted or with conditions, meets all of the following criteria. The planning commission shall disapprove the plan if it finds that the plan, either as submitted or with conditions, does not meet any one or more of the following criteria:*
  - a. *The proposed planned development will be substantially compatible with existing development in the surrounding area; and undeveloped land in the surrounding area can be developed in a manner substantially compatible with the proposed planned development.*

**Finding:** The existing development in the surrounding area is single-family detached dwellings. Specifically, the site is bordered by future platted lots for future dwellings to the north (Lincoln Palisades V), existing platted lots and dwellings to the south (Pacific Rim Estates) and west (Lincoln Palisades II), and future dwellings planned to the east as part of The Villages (which has preliminary master plan approval but no final master plan or subdivision plat approval). The proposed use of single-family detached dwellings is consistent with the existing and future use of single-family detached dwellings in the surrounding area. The proposed lot sizes, however, ranging in size from 5,096 to 14,515 square feet are inconsistent with the existing platted lots to the west and south since not one of those lots is smaller than 7,500 square feet. To be consistent with existing adjacent development and as a condition of approval, the final master plan shall show a revised layout with proposed lots adjacent to NE Wave Lane, Lincoln Palisades II, and Pacific Rim Estates being no smaller than 7,500 square feet with a minimum width of 70 feet and a minimum depth of 80 feet (specifically, Lots 1-3 and 28-36 shall be reconfigured to be no less than 7,500 square feet in size with a minimum width of 70 feet and a minimum depth of 80 feet, while maintaining the size, width, and depth of Lots 4 through 27 with no reduction to their size or dimensions from what is shown on Sheet 3.1 of the preliminary plan set).

- b. *Construction of the planned development can be accomplished in a manner that does not create unreasonable negative impacts on the area surrounding the development or in the city. In order to assure the avoidance or mitigation of negative construction impacts on the area surrounding the development or in the city, the planning commission may impose conditions including but not limited to:*
  - i. *Requirements that removal of landscaping during construction be limited to areas of the planned development to be constructed shortly following removal and to portions of those areas on which construction will occur;*
  - ii. *Prohibitions of open burning on the site during construction;*
  - iii. *Prohibitions or limitations on construction track-out;*
  - iv. *Restrictions on construction noise; and*
  - v. *Restrictions on construction traffic.*

**Finding:** Lincoln City Municipal Code provides safeguards to prevent unreasonable negative impacts on surrounding areas during construction. The adopted provisions include:

- LCMC 8.08.020 which prohibits the outdoor burning of construction waste
- LCMC 8.12.040 which requires authorized construction projects to apply reasonable safeguards to avoid creating attractive nuisances
- LCMC 9.10.030 which prohibits sound exceeding 50 dBA as measured at the property boundary between 7:00 PM and 7:00 AM
- LCMC 9.10.040 which exempts construction activities from sound limitations between the hours of 7:00 AM and 7:00 PM
- LCMC Chapter 12.08 which mandates installation and maintenance of city-approved erosion control measures by contractors
- LCMC 12.12.090 which requires that all work undertaken, including but not limited to excavation, backfilling, surface restoration, protection of utilities, traffic control, safety precautions, noise and dust control and cleanup, shall all be approved by the city.

The adopted provisions provide enough protection from unreasonable negative impacts from construction that no conditions of approval for additional safeguards need to be added.

- c. The development will not create unreasonable negative impacts on the area surrounding the development or in the city. In order to assure the avoidance or mitigation of negative impacts, the review authority may require the filing of restrictions in the county deed records including but not limited to restrictions:*
- i. Prohibiting the removal of specified landscaping; and*
  - ii. Prohibiting open burning during construction.*

**Finding:** LCMC 8.08.020 prohibits the outdoor burning of construction waste. No additional restrictions are necessary regarding open burning during construction.

Regarding the removal of specified landscaping, Sheets 3.1 and 3.2 of the applicant's submitted plan set provide the preliminary landscape and tree plan. Sheet 3.2 lists the six existing trees on the site, but does not provide details on their condition other than noting Tree 1373 splits at the base into two trunks. The legend on Sheet 3.1 has a symbol for existing tree to be removed and one for existing tree to be protected. However, it doesn't appear that either of those symbols are present on the plan on Sheet 3.1. The three existing red alder trees are located within the area of the proposed sidewalk, so staff assumes these three red alder trees will be removed. Tree 5158 is in the northeast corner of what is shown as proposed Lot 4 on Sheet 3.1. Without indication of Tree 5158 being non-viable and unhealthy, Tree 5158 needs to be shown as being preserved on the final landscape and tree plan. Tree 1373, along with being noted as having a split base into two trunks, is also located in the middle of proposed Lot 33 as shown on Sheet 3.1. Its location precludes building of a structure on Lot 33, so Tree 1373 needs to be shown as being removed on the final landscape and tree plan. Tree 1374 needs to be protected and preserved since it appears to be a healthy and viable tree. As a condition of approval, the application materials submitted for the final master plan shall include a final landscape and tree plan that clearly depicts the location and identification of all six of the site's existing trees, the removal of the site's three red alder trees, the removal of Tree 1373, and the protection of Trees 1374 and 5158.

- d. Street, water, sewer, drainage and drainage pretreatment, storm water detention, and other similar facilities in the area surrounding the development and in the city are or will be adequate to provide for the health, safety and welfare for the development's population densities and the type of development proposed, taking into consideration existing and projected future demands on those facilities.*

**Finding:** The Public Works Department reviewed the submitted preliminary plans and found that, with the conditions listed at the end of the staff report, the proposed facilities are adequate to provide for the health, safety, and welfare of the inhabitants of the future 36 single-family dwellings.

- e. Street, water, sewer, drainage and drainage pretreatment, storm water detention and other similar facilities proposed to be constructed as part of the development are adequate to provide for the health, safety and welfare for the population densities and the type of development proposed.*

**Finding:** The Public Works Department reviewed the submitted preliminary plans and found that, with the conditions listed at the end of the staff report, the proposed facilities are adequate to provide for the health, safety, and welfare of the inhabitants of the future 36 single-family dwellings.

- f. The proposed number of residential units does not exceed the maximum permitted number of residential units, and at least 15 percent of the gross area is dedicated to landscaping. For the purposes of computing area dedicated to landscaping, dedicated open space and protected resource areas may be treated as area dedicated to landscaping, but parking areas may not.*

**Finding:** The project proposes 36 lots for the future construction of a single-family detached dwelling on each lot. As detailed earlier in this staff report, the maximum permitted number of residential units is 36 and 36 units are being proposed. This requirement is met.

The gross area of the site is 7.57 acres, with 15% of that being 1.14 acres. The submitted landscape plan does not show or state proposed acreage of the required landscaping. As a condition of approval, the application for the final master plan shall include a final landscape plan that clearly identifies 1.14 acres of the site dedicated to landscaping, either in the 5.5-foot-wide landscape strip adjacent to the sidewalk or a common area landscape tract, or a combination of both.

- 2. The planning commission, in approving a preliminary master plan, may attach conditions it finds are necessary or appropriate to carry out the purposes of this title.*

**Finding:** Recommended conditions that are necessary and appropriate to carry out the purposes of LCMC Title 17 are listed at the end of the staff report.

*Title 16 Subdivisions*

*Chapter 16.08 Procedure*

*16.08.210 Inspection and processing fee*

*A subdivision inspection and processing fee shall be submitted as established by city council resolution.*

**Finding:** The required subdivision inspection and process fee was paid in full on July 14, 2021.

*16.08.220 Tentative Plan – Submission*

**Finding:** The tentative plan was filed with the Planning & Community Development Department on July 14, 2021. The application was deemed complete on September 29, 2021, and the public hearing was scheduled for November 16, 2021. Staff noticed the public hearing date with a 500-foot radius notification area, and in the local publication, the *News Guard* as required by Title 16.

16.08.240 Tentative plan – Approval

- A. *The planning commission will review the plan and the reports of the agencies listed above and shall give tentative approval of the plan in its preliminary form, as submitted, or as it may be modified. If disapproved, the planning commission shall express its disapproval and its reasons therefor in writing. The applicant may appeal such decisions to the city council in accordance with LCMC 16.20.020.*

**Finding:** The public hearing where the Planning Commission will review the submitted materials and all received comments will be held on November 16, 2021.

- B. *Approval of the tentative plan shall indicate the planning commission’s approval of the final plat, provided there is no change in the plan of the subdivisions, as shown on the tentative plan, and there is full compliance with all requirements imposed by the planning commission as conditions of tentative plan approval.*

**Finding:** The Planning Commission may impose conditions of approval when considering approval of the tentative plan.

- C. *The action of the planning commission shall be noted on...*

**Finding:** A final order outlining the findings and decision of the Planning Commission shall be prepared and adopted and provided to the applicant.

16.08.250 Tentative Plan – Required data

- A. *Preparation. The subdivider shall prepare a tentative plan, together with improvement plans and other supplementary material, as may be required, to indicate the general program and objectives of the project. To assure knowledge of existing conditions, and to obtain compliance with existing city development plans, the subdivider may confer with the department of community development and department of public works prior to preparation of the tentative plan.*

**Finding:** The applicant submitted a tentative plan set with the application. The tentative plan set includes a cover sheet, existing conditions, street layout, preliminary landscape plan and tree inventory, overall utility plan, street plan and profile, and a street storm plan and profile.

- B. *Scope. The tentative plan need not be a finished drawing, but it should show all pertinent information to scale, in order that the planning commission may properly review the proposed development.*

**Finding:** The submitted tentative plan shows all pertinent information to scale.

- C. *Partial Development. Where the area to be subdivided contains only part of the tract owned or controlled by the subdivider, the planning commission may require a sketch of a tentative layout for streets and parcels in the unsubdivided portion.*

**Finding:** The submitted tentative plan shows that the proposed project comprises the entire site; therefore, this standard is not applicable to the proposed subdivision.

- D. *Information Required. The tentative plan shall include the following information:*  
 1. *Detailed Map. The tentative plan shall be drawn at a scale of one inch equals 50 feet up to 10 acres;*

**Finding:** The submitted tentative plan is drawn at a scale of one inch equals 100 feet, which is a sufficient scale to be legible.

2. *General Information. The following information shall be shown on the tentative plan:*
  - a. *Proposed name of the subdivision.*
  - b. *Date, north point and scale of drawing;*
  - c. *Appropriate identification clearly stating the drawing as a tentative plan;*
  - d. *Location of the subdivision by section, township and range, and a legal description sufficient to define the location and boundaries of the proposed tract, and the tract designation or other description according to the real estate records of the county assessor;*
  - e. *A vicinity sketch map at a scale of one inch equals 400 feet showing adjacent property boundaries and land uses;*

**Finding:** The tentative plan shows the proposed name as Lincoln Palisades Phase IV. The date, north arrow, and scale are shown on the submitted plan set. The plan set is identified as the preliminary master plan. The cover sheet notes the legal description as “Tax lot 102 Lincoln County Tax Map 06-11-35-CD. Located in the southeast one-quarter of Section 35, Township 6 South, Range 11 West, Willamette Meridian, City of Lincoln City, Lincoln County, Oregon.” The cover sheet also includes a vicinity map at a scale of one inch equals 400 feet that identifies adjacent property boundaries and land uses. This requirement has been met.

3. *Existing Conditions. The following existing conditions shall be shown on the tentative plan:*
  - a. *Location, widths and names of all existing or platted streets or other public ways within or adjacent to the tract; and other important features, such as section lines and corners, city boundary lines and monuments;*
  - b. *Contour lines having the following minimum intervals:*
    - i. *Two-foot contour intervals for ground slopes less than 10 percent;*
    - ii. *Five-foot contour intervals for ground slopes 10 percent or greater;*
    - iii. *Contours shall be related to the city or other datum approved by the city engineer and/or surveyor;*
  - c. *Location of at least one temporary bench mark within the plat boundaries or the source of the contour line data shown (source and accuracy subject to city engineer and/or surveyor’s approval);*
  - d. *Location and direction of all watercourses;*
  - e. *Natural features, such as rock outcroppings, marshes, wooded areas and isolated preservable trees;*
  - f. *Existing uses of the property, including location of all existing structures to remain on the property after subdividing;*

**Finding:** The submitted plan set includes an existing conditions plan, identified as Sheet 2.0, which contains the required elements. This requirement has been met.

1. *Proposed Plan of Land Subdivision. The following information shall be included on the tentative plan:*
  - a. *Proposed Streets – Location, Widths, Approximate Radii of Curves. The relationship of all streets to any projected streets, as shown on any development plan adopted by the planning commission or, if there is no complete plan, as suggested by the department of community development. Street names will be determined and assigned by the city;*
  - b. *Easements. Location on the site or abutting property showing the width and purpose of all existing and proposed easements;*
  - c. *Lots. Approximate dimensions of all lots, minimum lot size, proposed lot and block numbers;*
  - d. *Proposed Land Uses. Sites, if any, allocated for:*

- i. *Multiple-family dwellings;*
- ii. *Shopping centers;*
- iii. *Churches;*
- iv. *Industry;*
- v. *Parks, schools, playgrounds;*
- vi. *Public or semipublic buildings;*
- vii. *Open space;*

**Finding:** The submitted plan set shows the location, widths, and approximate radii of curves of the proposed streets. The plan set also shows the easements and lot information, noting that the project will be for future construction of single-family detached dwellings.

- 2. *Area Coverage. Area coverage of existing and proposed structures, lots, streets or other changes anticipated;*

**Finding:** The applicant's narrative notes area coverage information in the project description. The total area of the site is 7.57 acres (329,749 square feet) with an anticipated future land coverage of 115,431 square feet resulting in 35% of the total area of the site being covered with buildings. The public street right-of-way dedication comprises 4.5 acres (196,020 square feet) of the 7.57-acre site.

- 3. *Explanatory Information. Any of the following information which may be required by the planning commission, and which may not be shown practicably on the tentative plan, may be submitted in separate statements accompanying the tentative plan:*
  - a. *Proposed deed restrictions in outline form;*

**Finding:** Deed restrictions were included as part of the submitted materials.

- b. *Approximate existing centerline profiles showing the finished grades of all streets, as approved by the city engineer, included in the proposed subdivision;*

**Finding:** Sheets 3.0 and 4.1 through 4.4 provide the street layout and street plan and profile with the required information.

- c. *Typical cross sections of proposed streets, showing widths of roadways, curbs, location and width of sidewalks and the location and size of utility mains;*

**Finding:** Sheets 3.0 and 4.1 through 4.4 provide the street layout and street plan and profile with the required information.

- d. *Approximate plan and profiles of proposed sanitary sewers, storm drains and water distribution system, showing pipe sizes and the location of valves and fire hydrants, all to conform to city standards;*

**Finding:** Sheet 4.0 of the submitted plan set gives the overall utility plan for the project, and Sheet 4.5 provides the street storm plan and profile.

- e. *A general description of property intended to be dedicated to the city or public, other than street rights-of-way, including proposed dedication restrictions.*

**Finding:** The submitted plan set shows that the proposed streets will be dedicated to the public as public right-of-way, and the applicant's narrative notes that 4.5 acres of the 7.57-acre site will be dedicated as public street right-of-way. The project does not propose any dedications to the city.

*Chapter 16.12 Design Standards*

*16.12.010 Design standards and principles of acceptability*

**Finding:** Staff's review of the submitted materials concludes that the proposed subdivision is (or will be with satisfaction of the proposed conditions of approval) in conformity with the comprehensive plan, LCMC Title 17, and other applicable ordinances of the city.

*16.12.020 Streets – General requirements*

*The location, width and grade of streets shall be considered in their relation to existing and planned streets, to topographical conditions, to public convenience and safety, and their appropriate relation to the proposed use of the land to be served by such streets. Where location is not shown in a development plan, the arrangement of streets in a subdivision shall either:*

**Finding:** The submitted plan shows the proposed streets for Lincoln Palisades VI. The streets are proposed with 50-foot-wide rights-of-way, to be dedicated to the public as public streets. The two stubs of NE 51st Loop will be extended and continued through the site, with a connection to NE Wave Lane and a new as-yet unnamed street identified as Street A.

*16.12.030 Streets – Minimum Right-of-Way and Roadway Width.*

**Finding:** The submitted plan set shows the proposed right-of-way width as 50 feet. The typical street section is shown on Sheet 3.0 of the submitted plan set with a 28-foot-wide street driving surface and 0.5-foot-wide curb and gutter, 5-foot-wide sidewalk, and 5.5-foot-wide landscape strip on each side of the 28-foot-wide street driving surface. The 7-foot-wide public utility easement is at the front of each of the new lots. The proposed street section exceeds the minimum street standards for a local street outlined in the table in LCMC 16.12.030.

*16.12.040 Streets – Reserve strips*

**Finding:** The project does not propose reserve strips, nor are any needed. This requirement is not applicable to this project.

*16.12.050 Streets – Alignment*

*All streets, other than minor streets or culs-de-sac, shall, so far as practical, be in alignment with existing streets by continuations of the centerlines thereof. In no case shall the staggering of streets make "T" intersections so designed that a dangerous job is produced. Jogs of less than 100 feet on such streets, measured along the centerline of the intersected street, must be adjusted by curves or diagonals so that the alignment across the street is continuous.*

**Finding:** The continuation of NE 51st Loop is a local (minor) street, so this standard is not applicable. Regardless, the centerline of both the north and south extensions is a direct continuation of the existing centerline.

*16.12.060 – Streets – Future Expansion (A) Where a subdivision or partition adjoins undeveloped property, streets which, in the findings of the planning commission, should be continued in the event of the subdivision or partitioning of the undeveloped property will be required to be provided through the boundary lines of the tract.*

**Finding:** The site is bordered by the undeveloped The Villages, which has preliminary master plan approval for future development. The project provides for the extension of the NE 51st Loop to the site's eastern property line should future connectivity be wanted or needed by the developer of The Villages.

*16.12.070 – Streets – Intersection Angles*

**Finding:** The submitted plan set shows that the proposed streets intersect at as near to a right angle as possible. Not one of the proposed intersections is at an angle of less than 75 degrees. This requirement is met.

*16.12.080 Existing streets*

**Finding:** The proposed subdivision has frontage on NE Wave Lane and stubs of NE 51st Loop. These existing streets are public streets with an existing 50-foot-wide right-of-way. There are no improvement projects identified in the Transportation System Plan adjacent to or within the site. This requirement is met.

*16.12.090 - Half-streets*

**Finding:** The project does not propose any half streets.

*16.12.100 - Cul-de-sacs*

**Finding:** The proposed cul-de-sacs are shown in the submitted plan set as being preliminarily compliant with city standards. Final engineering plans must be submitted for city staff to review and confirm compliance.

*16.12.110 - Street names.*

**Finding:** A street name for the one new street has not been proposed. As a condition of approval, the applicant shall work with city staff in selecting a name for the identified "Street A" that complies with applicable street-naming standards.

*16.12.120 – Streets – Grades and Curves*

**Finding:** NE 51st Loop is classified as a local street. The submitted plan set shows 9.5% as the steepest slope of the NE 51st Loop proposed construction. This is less than the 12%-maximum mandated by LCMC 16.12.120(A). The submitted preliminary plans show compliance with the grade and curve requirements. Final engineering plans must be submitted for city staff to review and confirm compliance.

*16.12.130 Streets – Planting easements*

*Where approval of streets less than 60 feet in width is granted, additional easements for street trees, shrubs, sidewalks and utilities may be required.*

**Finding:** A 50-foot-wide right-of-way is proposed for the streets in the project. Although that is less than 60 feet in width, the proposed street section includes a 5-foot-wide sidewalk and a 5.5-foot-wide landscape strip on both sides of the right-of-way. The right-of-way will be dedicated to the public, so no planting easements are necessary. The required public utility easement is shown along the front of each lot as a 7-foot-wide public utility easement.

*16.12.140 Marginal access streets*

*Where a subdivision or partition abuts or contains an existing or proposed major street, the...*

**Finding:** The subdivision does not abut or contain an existing or proposed major street. This requirement is not applicable.

*16.12.210 Lots – General requirements*

*The lengths, widths and shapes of blocks shall be designed with due regard to providing adequate building sites suitable to the special needs of the type of use contemplated, needs for convenient access circulation, control and safety of street traffic, and limitation and opportunities of topography.*

**Finding:** The blocks as shown in the submitted plan set are of lengths, widths, and shapes to accommodate the required street widths to provide access and circulation throughout the development, as well as utilities and utility easements to provide service to each of the new lots.

*16.12.220 – Minimum Lot Sizes*

**Finding:** The tentative plan shows the square footage of the individual lots. The lot sizes range from 5,096 square feet to 14,515 square feet. Some of the lots do not meet the minimum lot size requirement of 7,500 square feet or the minimum lot width of 70 feet in the R-1-7.5 zone. The project is a planned unit development, which allows for flexibility in zoning standards if the project meets the purpose of a planned unit development.

*16.12.230 Through lots*

**Finding:** The submitted plan set does not show any through lots.

*16.12.240 – Lot Side Lines*

**Finding:** A review of the submitted plan set shows that all newly-created lot side lines in the proposed subdivision will be at right angles to the proposed street on which each new lot has frontage. On the curved streets and cul-de-sacs they are radial to the curve. The proposed development complies with this standard.

*16.12.250 – Lots - Resubdivision*

**Finding:** There is no portion of the proposed development proposed to be further subdivided in the future. Some of the proposed lots are larger than the minimum lot size of 7,500 square feet, but not large enough to be re-divided.

*16.12.260-Residential building setback lines*

**Finding:** The proposed development will not establish special building setback lines; therefore, this requirement is not applicable to the project.

*16.12.270 – Public Open Space*

- A. *Due consideration shall be given by the subdivider or partitioner to the allocation of suitable areas for schools, parks and playgrounds to be dedicated for public use as per the city comprehensive plan.*

**Finding:** The site does not contain any comprehensive plan-slanted areas for schools, parks, or playgrounds, so this requirement is not applicable to the project.

*Chapter 16.16 Improvements*

*16.16.010 Required improvements*

- A. *The following improvements shall be installed at the expense of the subdivider or partitioner in accordance with the city requirements:*
1. *Streets, including drainage adequate to serve the property and streets;*
  2. *Sanitary sewers and services;*
  3. *Water distribution lines and services;*
  4. *Sidewalks in any pedestrian ways;*
  5. *Street name signs and street light poles;*
  6. *Lot, street and perimeter monumentation;*
  7. *Underground power lines;*
  8. *Underground telephone lines;*
  9. *Bicycle, equestrian or special “ways”;*
  10. *Underground cable TV lines.*

**Finding:** The submitted preliminary plans show the layout of the proposed streets, sanitary sewers and services, water lines, sidewalks, and utility easements for underground utilities. Bicycle, equestrian, or special “ways” are not proposed, nor are they required. Required monuments are set as part of the final platting process by the surveyor and shown on the final plat map that is recorded in the county recorder’s office.

- B. *All improvements shall be constructed to the subdivision or partition boundary.*

**Finding:** The submitted preliminary plans show the location of all required improvements throughout the project to the project boundary lines.

- C. *Where dedicated or undedicated open space is proposed or provided, it shall...*

**Finding:** The project does not propose either dedicated or undedicated open space.

#### *16.16.020 – Improvements - Streets*

**Finding:** The submitted preliminary plans show the design of the proposed streets, with the street section that contains curb and gutter, sidewalk, and a landscape strip. The final engineering plans will be reviewed by city staff for compliance with the city’s street standards.

#### *16.16.030 – Surface Drainage and Storm Sewer System*

**Finding:** The tentative plan shows a proposed storm water collection system along the proposed right-of-way, as well as stormwater easements. The final engineering plans will provide the final details on the stormwater system and will be reviewed by city staff for compliance with the city’s storm sewer system requirements.

#### *16.16.040 – Sanitary Sewer*

**Finding:** There is an eight-inch sanitary sewer main located in NE Wave Lane. The proposed subdivision will tie into this line and extend another eight-inch sanitary sewer line through NE 51st Loop. Each proposed lot will connect to the sanitary sewer line in the proposed streets.

#### *16.16.050 – Water System*

**Finding:** There is an eight-inch water main located in NE Wave Lane. The proposed development will tie into this line and extend another eight-inch waterline from NE Voyage Way through NE 51st Loop. Each proposed lot will connect to the water line in the proposed streets.

### 16.16.060 – Sidewalks

**Finding:** The project proposed construction of a five-foot-wide sidewalk on both sides of the proposed right-of-way. All sidewalks shall be designed to meet all applicable ADA and city standards, with the design being reviewed by city staff for compliance during the final engineering plan review process.

*16.16.070 Street Names Signs. Street name signs shall be installed at all intersections according to city standards or a deposit made with the city in an amount equal to cost of the installation. Installation shall be made by the city.*

**Finding:** Installation of street name signs will be completed during infrastructure construction of the proposed project.

### **RECOMMENDATION**

Staff recommends that the Planning Commission hold a public hearing on the proposed planned unit development/subdivision, take public testimony, close the public hearing, deliberate, and decide whether the request complies with the criteria for granting approval, complies with the criteria with conditions, or doesn't comply with the criteria.

If the Planning Commission approves with conditions, staff's recommended conditions of approval are as follows:

### **PLANNING**

1. The application materials submitted for the final master plan shall include a final landscape and tree plan that clearly depicts the location and identification of all six existing trees on the site, the removal of the site's three red alder trees, the removal of Tree 1373, and the protection of Trees 1374 and 5158.
2. Pursuant to LCMC 17.52.120(B), all electrical, telephone, and cable television utility service installations or connections made as part of new construction of a building or structure shall be placed underground in accordance with city standards.
3. The project shall be developed in one phase.
4. The final plat for Lincoln Palisades VI shall be submitted to the Lincoln City Planning and Community Development Department within two years following the approval date of the final order by the Planning Commission, and it shall incorporate the conditions of approval.
5. The final landscape and tree plan submitted with the final master plan application materials shall show a detailed landscaping plan, compliant with LCMC Chapter 17.55, for 1.14 acres of the 7.57-acre site. The 1.14 acres of landscaping shall not include any area of any of the individual lots, but may include the 5.5-foot-wide landscape strip in the 50-foot-wide right-of-way. Landscaped areas that meet the 1.14-acre requirement (other than the 5.5-foot-wide landscape strip in the 50-foot-wide right-of-way) landscape shall be platted as a tract for ownership and maintenance by the homeowners' association.
6. With submittal of the final engineering plans, applicant shall submit a solid waste disposal plan that has been approved by North Lincoln Sanitary Service that allows sufficient accessibility for collection vehicles to service the development. Approval from North Lincoln Sanitary Service shall consist of Lon French's dated signature on the solid waste disposal plan, with a statement that he has approved the plan as shown.
7. The development shall comply with all applicable fire code requirements.
8. Development of the project shall comply with applicable Oregon Department of State Lands requirements.
9. The development shall comply with all applicable federal, state, county, local, and city rules and regulations.

10. The submitted final master plan shall state the purpose of the proposed Tract A and who will own and maintain it.
11. The submitted final master plan shall show a revised layout with proposed lots adjacent to NE Wave Lane, Lincoln Palisades II, and Pacific Rim Estates being no smaller than 7,500 square feet with a minimum width of 70 feet and a minimum depth of 80 feet (specifically, Lots 1-3 and 28-36 shall be reconfigured to be no less than 7,500 square feet in size with a minimum width of 70 feet and a minimum depth of 80 feet, while maintaining the size, width, and depth of Lots 4 through 27 with no reduction to their size or dimensions from what is shown on Sheet 3.1 of the preliminary plan set).

## ENGINEERING

### Engineering Plans

1. The applicant shall submit legible, digital copies of engineering plans for all public improvements and site development to the Department of Public Works for review and approval. These shall either be approved as submitted or modified in accordance with requirements of the City Engineer. Plans shall be stamped by a licensed professional engineer and shall show all existing & proposed conditions. – Applicant is responsible for verifying the presence or absence of existing utilities & infrastructure. The City Engineer’s review and any required modifications shall be for assuring that the improvements shall be consistent with Lincoln City Public Works Standards and the provisions of this condition of approval.
2. Prior to commencement of any site work, construction activity, demolition, clearing, grubbing, or excavating, an application for a Public Works Right-of-Way Permit shall be submitted to the Lincoln City Public Works Department (LCPWD). All planned right-of-way work shall be noted on the final engineering plans for review and performed as shown and approved.
3. The approved plan set and permits shall be kept on the site, at all times, until construction is complete and all final inspections have been passed. Any changes to the approved engineering plans affecting public improvements or utilities shall be submitted to LCPWD for approval prior to construction of altered facilities.
4. **Within 30 days after construction**, field-verified, stamped as-built drawings for all public improvements, including relevant survey data, shall be provided to LCPWD in AutoCAD format. All discovered utilities and changes to the approved plans shall be noted with callouts indicating location, depth, and material. As-built drawings shall note all installed water and sewer service locations, as well as sewer cleanout depths. **The record drawings shall be established in model space using the state plane coordinate system, Oregon North Zone 3601, with horizontal survey control of NAD 83 and vertical control of NAVD 88.**

### Erosion Control, Site Preparation, and Grading

1. Applicant shall submit two copies of erosion control plans to LCPWD. The City Engineer shall review all erosion control plans for compliance, prior to any construction activities. Approved soil erosion control measures must be in place and inspected by LCPWD prior to any construction activities. Additional inspections required as conditions of the below 1200-C stormwater permit shall be applicant’s responsibility.
2. The proposed area exceeds one or more acres of land disturbance throughout construction. Applicant is responsible for application for, acquisition of, and compliance with the Oregon Department of Environmental Quality (DEQ) 1200-C stormwater permit.
3. All grading work shall adhere to building code appendix 33, Excavation & Grading, as adopted in LCMC 12.08. This shall include but not be limited to:
  - Compaction procedures for fill >2’ shall be submitted as part of the engineered grading plan. Compaction testing shall be completed within the right-of-way, public easements, and slopes impacting the right-of-way per Lincoln City Public Works (LCPW) standards (*modified proctor testing*). Reports shall be submitted to LCPWD prior to roadway construction and show no less than 90% compaction for subgrade and 95% for aggregate base.

- Finished slopes shall not exceed 1:2. Where slopes exceed 1:3 and total elevation change >12' terracing shall be designed at mid height (*or 30' intervals*) no less than 6' wide. See LCPW 610 for more detail.
- 4. Planting & slope stabilization methods and materials shall be noted in the approved grading plan and implemented prior to final approval by LCPWD. Additional planting and slope stabilization measures for grades exceeding 1:3 shall be implemented by applicant as needed.
- 5. No filling or grading shall be noted outside of applicant's property right-of-way noted for dedication. All retaining wall construction proposed within or impacting the right-of-way and exceeding 4' in height shall be designed and stamped by a licensed structural engineer. The design engineer shall be additionally contracted for construction inspections of retaining wall design.

### **Street Improvements**

1. New sidewalk, curb, gutter, and necessary pavement repair shall be constructed, as part of subdivision construction, along all subdivision street frontage in compliance with LCMC 17.52.230. All city right-of-way work planned shall be noted on the approved plan set and performed as shown.
2. ADA-compliant transitions shall be installed at all end of walks in compliance with state and federal public right-of-way accessible guidelines.
3. The clear vision triangle, 50'Lx10'W visibility, shall be shown on the submitted final plan set and maintained at all intersections.
4. Required street signage shall be provided and installed by the developer, including: street name signs, stop signs, and "no parking" signs, as well as required striping. With the 28-foot curb-to-curb width, "no parking" signs shall be installed on one designated side of the roadways and as additionally required for fire access and egress.
5. Any and all street lighting shall be the responsibility of the developer and shall be maintained by the homeowners' association.
6. All materials and methods of construction shall adhere to LCPW standards including, but not limited to: asphalt paving, aggregate base, roadway fabric, striping, subgrade preparation, and compaction.
7. All proposed roadway cuts and repairs per LCPW standards shall be shown on the permit plan set. Areas of existing pavement with more than two service cuts shall be completed in a single asphalt repair, with the existing pavement T-cut, and impacted pavement repaired to full existing depth or 2" minimum depth ground and inlaid.
8. The termination of NE 51st Place shall end as a standard cul-de-sac. No dead-end stub shall be extended. The right-of-way as dedicated for potential future development will be landscaped as needed to stabilize the proposed grade.
9. New street names shall be selected in accorded with city requirements and standards.

### **Storm Sewer**

1. All new impervious paving shall be treated according to LCPW stormwater design standards. Treatment shall be sized according to 50% of the 2-year, 24-hour rain event.
2. All increase from the existing site's total impervious area shall be detained according to LCPW stormwater design standards: 2-year, 10-year, 25-year 24-hour rain event OR calculations shall be submitted demonstrating dispersion to pre-development flows prior to storm system termination. Applicant shall be responsible for providing evidence of approved, alternative provisions which apply to the site.
3. Calculations for conveyance, infiltration, detention, water quality, and drainage facilities shall be submitted with final plan set and demonstrate that the system is capable of handling the increased flows and/or proposed work on the system will adequately increase system size.
4. Existing stormwater outfall at Lot 25/26 shall be extended or conveyance graded the full length of the lot. A stormwater easement shall be dedicated along property lines for constructed facilities and public stormwater discharge.

5. Each lot shall be provided appropriate stormwater discharge via one of the following, and the applicant shall clearly identify the designated method for each lot:
  - a. Direct frontage for stormwater discharge into an existing drainage way
  - b. A stormwater easement allowing stormwater discharge to an existing drainage way
  - c. Adequate fall to the roadway curb line for conveyance via the roadway or public storm sewer system.
  - d. Piped connection to a public storm sewer system at the platted property line.
6. Rip-Rap Swale Construction or equivalent energy dispersal method shall be designed and installed at all stormwater discharges. Sizing shall be adequate for all design storm events.
7. Storm sewer utilities shown at the end of NE 51st Loop shall remain within the right-of-way or within the easement dedicated along the property line.
8. All existing storm sewer utilities shall be accommodated and easements dedicated, including but not limited to the existing storm crossing Lot 35 and the existing storm terminating on the proposed Lots 31/32. Depth adjustment may be required.

### **Sanitary Sewer**

1. All work and materials shall be completed in accordance with LCPW 2018 Design Standards.
2. Cleanouts shall be installed at the property lines and property stubs extended beyond franchise utilities for future access. End of pipe shall be marked with green painted 2"x4" set flush with finished grade. This shall include the location and addition of cleanouts to the existing sewer laterals noted at newly-platted properties.
3. Sanitary sewer plans shall be additionally submitted to DEQ for approval. Applicant shall be responsible for adhering to any additional approval conditions from DEQ. After construction, facilities shall be flushed, pressure tested, TV-ed, and mandrelled according to the 2018 Oregon Department of Transportation (ODOT) Standard specification. Manholes shall be vacuumed tested according to the 2018 ODOT Standard specification. TV footage and testing reports shall be submitted to LCPWD, with submission of required as-built drawings, prior to final acceptance by LCPWD.
4. Sanitary sewer utilities shown at the end of NE 51st Loop shall remain within the right-of-way or within the easement dedicated along the property line.
5. Manholes shall be placed at all sanitary sewer junctures and end-of-line nodes.

### **Water Utilities**

1. Applicant is responsible for ensuring that requested fire and domestic service ensures adequate flow and pressure for required water supply. Applicant shall be responsible for conducting any flow tests required to establish water pressure and flow information. Applicant shall give LCPWD a 48-hour advanced notice of any flow testing to be performed. An LCPWD water distribution city staff member shall be on the site at the time of flow testing.
2. Applicant shall be responsible for the verification of existing infrastructure and any repairs required. Applicant shall be responsible for verification of existing utilities proposed for use.
3. All connections to the public water system, assemblies, and service line location shall be designed and completed according to LCPW Design Standards.
4. Material submittals for all public water improvements shall be submitted to LCPWD for review and approval in accordance with LCPW Water Distribution standards.
5. The proposed water line on proposed "Street A" shall loop to the existing 8" water stub off NE 55<sup>th</sup> Place.
6. All water meters shall be placed at back of walk, outside of the sidewalk.
7. Water meters shall be clustered in pairs at shared property corners whenever possible.
8. Engineering plans shall note the radius on all sections of waterline proposed for deflection. Deflection shall not be used as an alternative to required bends and shall never exceed manufacturer tolerances.

9. Fire hydrants shall be placed within the proposed development according to fire code requirements and shown on the submitted permit plan set.
10. Applicant shall be responsible for all chlorination, pressure testing, and coordination with LCPWD water distribution staff according to LCPW standards.

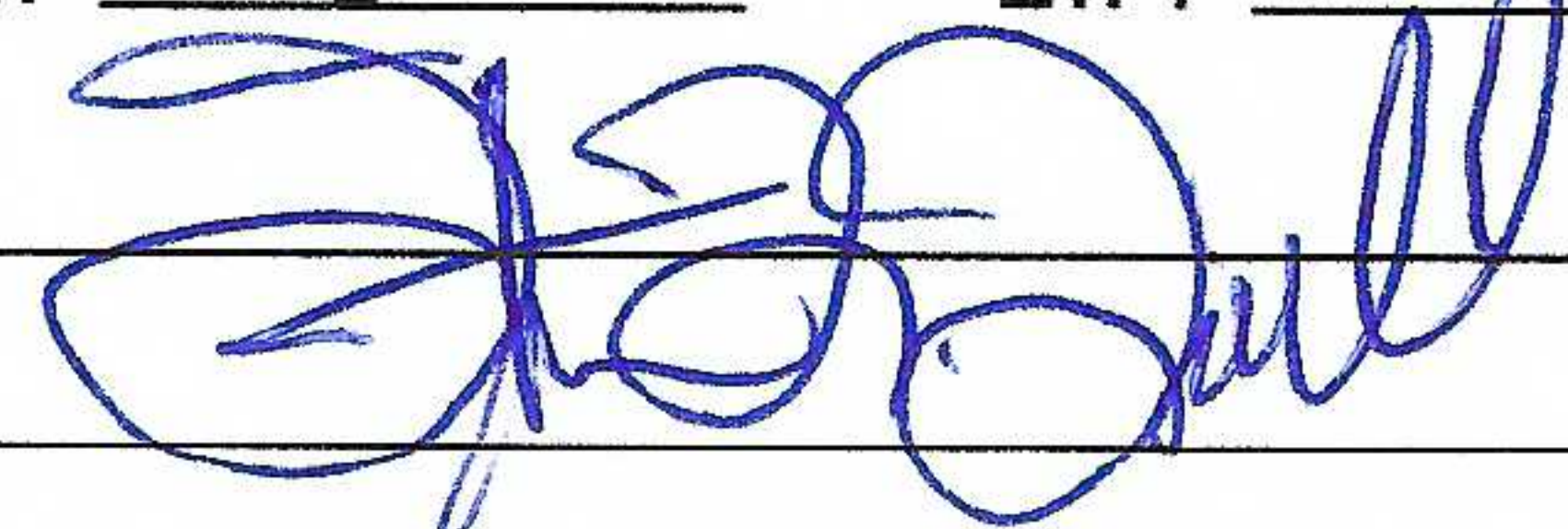
<b>OFFICE USE ONLY</b> Date Filed: _____ Amount/Fee: _____ Receipt No: _____ Received By: _____ 30 Days: _____ Deemed Incomplete: _____ Deemed Complete: _____ 120 Day Deadline: _____	  <b>LAND USE APPLICATION</b>	<b>OFFICE USE ONLY</b> Stamp Date Received _____  File No: _____
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<b>APPLICATION TYPE</b>		
<input type="checkbox"/> ANNEXATION	<input type="checkbox"/> LOT LINE ADJUSTMENT	<input type="checkbox"/> SITE PLAN REVIEW
<input type="checkbox"/> APPEAL OF PLANNING COMMISSION DECISION	<input type="checkbox"/> MINOR PARTITION	<input type="checkbox"/> SUBDIVISION
<input type="checkbox"/> APPEAL OF PLANNING DEPARTMENT DECISION	<input type="checkbox"/> NATURAL RESOURCE DEVELOPMENT REVIEW	<input type="checkbox"/> URBAN GROWTH BOUNDARY AMENDMENT
<input type="checkbox"/> COMPREHENSIVE PLAN & ZONING MAP AMENDMENT	<input type="checkbox"/> NATURAL RESOURCE DEVELOPMENT VARIANCE	<input type="checkbox"/> VACATION
<input type="checkbox"/> COMPREHENSIVE PLAN & /OR ZONING ORDINANCE TEXT AMENDMENT	<input checked="" type="checkbox"/> PLANNED UNIT DEVELOPMENT PRELIMINARY MASTER PLAN	<input type="checkbox"/> VARIANCE
<input type="checkbox"/> CONDITIONAL USE PERMIT	<input type="checkbox"/> PLANNED UNIT DEVELOPMENT FINAL MASTER PLAN	<input type="checkbox"/> OTHER _____

**NAME OF APPLICANT:** Steve Lindell dba Alpha Building Ventures. LLC

**MAILING ADDRESS:** P.O. Box 688

**CITY:** McMinnville      **STATE:** Oregon      **ZIP:** 97128

**DAYTIME PHONE:** 503-723-5347      **Signature:** 

**EMAIL (OPTIONAL):** stephenlindell6@gmail.com

**OWNER OF RECORD (if other than applicant)**

**NAME:** Same as applicant.

**MAILING ADDRESS:** \_\_\_\_\_

**CITY:** \_\_\_\_\_      **STATE:** \_\_\_\_\_      **ZIP:** \_\_\_\_\_

**DAYTIME PHONE:** \_\_\_\_\_      **Signature:** \_\_\_\_\_

**EMAIL (OPTIONAL):** \_\_\_\_\_

**APPLICANT AND/OR OWNER'S INTEREST IN PROPERTY SUBJECT TO REQUEST:**

AGENT,    FEE OWNER,    CONTRACT PURCHASER,    OPTION HOLDER,    LESSEE,    OTHER

**PROJECT LOCATION:** Intersection of NE 51st Loop and NE Wave Lane

**PROJECT ADDRESS:** Unaddressed.

**ASSESSOR'S MAP NO.:** 6s11w35CD      **TAX LOT(S):** 102

**AREA:** 7.57 (acres)      **SQ. FT.:** 329,749      **ZONING:** R-1-7.5

**PLANNED UNIT DEVELOPMENT  
PRELIMINARY MASTER PLAN  
EVIDENCE TO SUPPORT OF FINDINGS OF FACT**

*Directions: Please provide <sup>✓</sup> factual and supportive evidence that your application meets the Findings of Fact listed below. It is the applicant's responsibility to demonstrate that the conditional use permit will comply with these Findings of Fact. Additional sheets may be attached if necessary.*

**SECTION 17.52.210 (A) Purpose.**

It is the purpose of this section to allow master planned developments in any residential or commercial zone, or any combination of them, and in doing so, to allow a more flexible approach to land development than that which is normally accomplished through the subdivision and zoning ordinances of the city. The planned unit development approach is intended to provide more desirable environments by encouraging creative site planning and building designs; to make possible greater diversification between buildings and open spaces; and to conserve land and minimize development costs. In addition to the uses allowed in residential zones, the planned unit development approach may allow certain commercial uses subject to the specific limitations of this section.

**SECTION 17.52.210 (B) Planning Commission Authority.**

The Planning Commission shall have the authority to approve, approve with conditions, or disapprove planned unit developments in any residential or commercial zone, or any combination of them, subject to the provisions of this section.

**THE FOLLOWING ATTACHMENTS SHALL ACCOMPANY THE FILING OF AN APPLICATION FOR A PLANNED UNIT DEVELOPMENT:**

- SITE PLAN AND/OR ELEVATIONS.** (Or other depiction or documents indicating the nature of the PUD request).
- EVIDENCE IN SUPPORT OF REQUISITE FINDINGS OF FACT.**

**FINDINGS OF FACT:** In order to grant any planned unit development, the planning commission must find, based upon evidence, both factual and supportive, provided by the applicant, that:

- 1. The proposed planned unit development will be substantially compatible with existing development in the surrounding area; and undeveloped land in the surrounding area can be developed in a manner substantially compatible with the proposed planned unit development.

Findings of fact demonstrating compliance with this criterion are provided in the attached application narrative.

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- 2. The number of years proposed for completion of the development or each phase of the development is reasonable, taking into consideration the possibility of changing land use patterns in or requirements of the City over time. In order to ensure that the development will be compatible with land use patterns in and requirements of the City at the time of approval of a final master plan, the Planning Commission shall establish an expiration date for the preliminary master plan approval, not sooner than 2 years after approval of the preliminary master plan; may impose conditions requiring that a final master plan or phases thereof be submitted for Commission review within a specified period or periods of time, not sooner than 1 year after approval of the preliminary master plan; or may impose conditions requiring Commission re-evaluation of as yet unbuilt portions of the development, for conformity with then-existing City zoning ordinance requirements in relation to then-existing conditions, not sooner than 5 years after approval of the preliminary master plan, and at such periodic intervals of not less than 5 years thereafter as the Commission deems appropriate to ensure conformity.

Findings of fact demonstrating compliance with this criterion are provided in the attached application narrative.

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- 3. Construction of the development can be accomplished in a manner that does not create unreasonable negative impacts on the area surrounding the development or in the City. In order to assure the avoidance or mitigation of negative construction impacts on the area surrounding the development or in the City, the Planning Commission may impose conditions including but not limited to:
  - a. Requirements that removal of existing landscaping during construction be limited to areas of the planned unit development to be constructed shortly following removal and to portions of those areas on which construction will occur;
  - b. Prohibitions of open burning on the site during construction;
  - c. Prohibitions or limitations on construction track-out;
  - d. Restrictions on construction noise; and
  - e. Restrictions on construction traffic.

Findings of fact demonstrating compliance with this criterion are provided in the attached application narrative.

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- 4. The development will not create unreasonable negative impacts on the area surrounding the development or in the City. In order to assure the avoidance or mitigation of negative impacts, the Planning Commission may require the filing of restrictions in the County deed records including but not limited to restrictions:
  - a. Prohibiting the removal of specified landscaping; and

b. Prohibiting open burning during construction.

Findings of fact demonstrating compliance with this criterion are provided in the attached application narrative.

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- 5. Street, water, sewer, drainage and drainage pre-treatment, storm water detention, and other similar facilities in the area surrounding the development and in the City are or will be adequate to provide for the health, safety, and welfare for the development's population densities and the type of development proposed, taking into consideration existing and projected future demands on those facilities.

Findings of fact demonstrating compliance with this criterion are provided in the attached application narrative.

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- 6. Street, water, sewer, drainage and drainage pre-treatment, storm water detention and other similar facilities proposed to be constructed as part of the development are adequate to provide for the health, safety and welfare for the population densities and the type of development proposed.

Findings of fact demonstrating compliance with this criterion are provided in the attached application narrative.

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- 7. The proposed number of residential units does not exceed the maximum permitted number of residential units; and at least 15% of the gross area is dedicated to landscaping. For purposes of computing area dedicated to landscaping, dedicated open space and protected resource areas may be treated as area dedicated to landscaping, but parking areas may not.

Findings of fact demonstrating compliance with this criterion are provided in the attached application narrative.

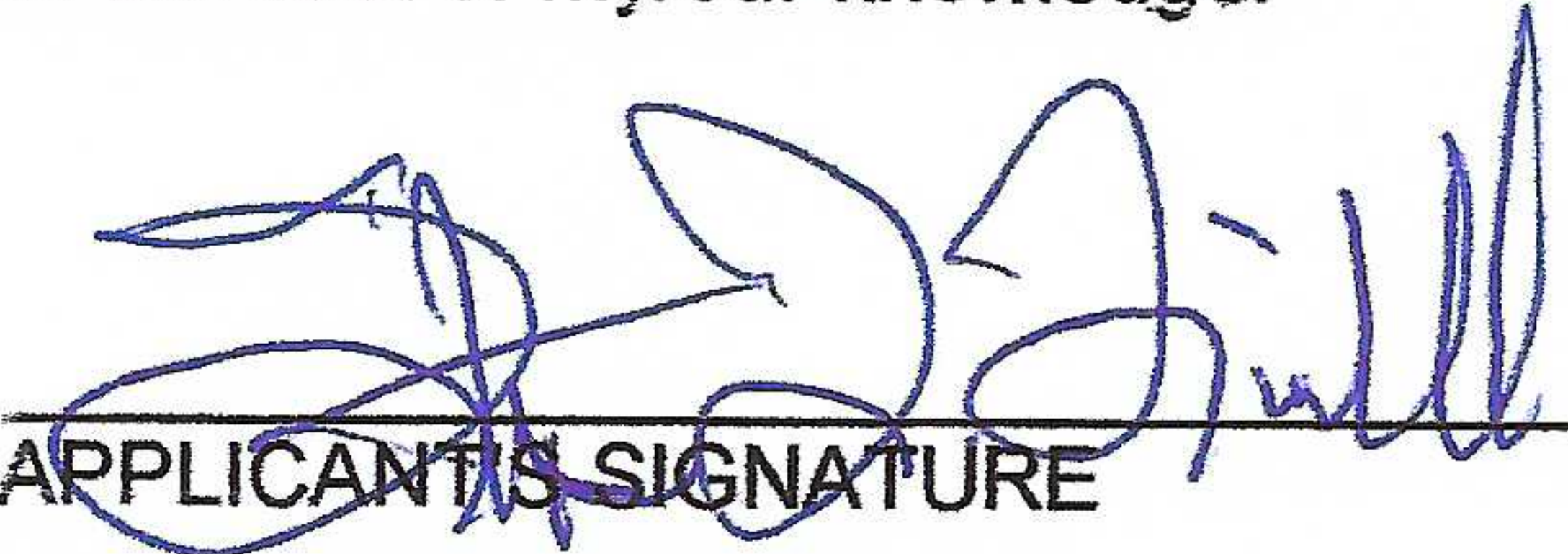
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This application is hereby submitted, and the statements and information are true and complete to the best of my/our knowledge.

  
APPLICANT'S SIGNATURE

  
DATE

**NOTE TO APPLICANT: Since the burden of presenting evidence to support the request rests with the applicant at the public hearing, your attendance and participation at the public meeting, or that of your representative, is respectfully requested.**

LINCOLN PALISADES  
Phase Two

DECLARATION OF PROTECTIVE COVENANTS,  
CONDITIONS, RESTRICTIONS AND EASEMENTS

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**DECLARATION OF PROTECTIVE COVENANTS,  
CONDITIONS, RESTRICTIONS, AND EASEMENTS  
FOR LOTS 1 THROUGH 34, LINCOLN PALISADES PHASE TWO  
IN LINCOLN CITY, OREGON**

**THIS DECLARATION** is made this \_\_\_\_\_ day of \_\_\_\_\_, 2007, by Palisades Properties, LLC (“Delcarant”).

Delcarant owns all the real property and improvements thereon located in an unincorporated area of Lincoln County, Oregon, described on Exhibit “A” (the “Property”). All capitalized terms used herein shall have the meanings attributed to them in Article 1 hereof.

Declarant intends to develop the Property as a planned development, which shall be called Lincoln Palisades, and to impose mutually beneficial covenants, conditions, restrictions, easements, assessments and liens on the Property under a comprehensive general plan of improvement and development for the benefit of all the Owners, the Lots within Lincoln Palisades. Lincoln Palisades is a planned subdivision of thirty-four (34) Lots with no Common Area.

NOW, THEREFORE, Declarant declares that the Property shall be held, transferred, sold, conveyed and occupied subject to the following covenants, conditions, restrictions, easements, charges and liens, which shall run with the land, which shall be binding upon all parties having or acquiring any right, title or interest in the Property or any part thereof, and which shall insure to the benefit of the of the Association and each Lot Owner.

**ARTICLE 1**

**DEFINITIONS**

As used in this Declaration, the terms set forth below shall have the following meanings:

- 1.1 “Architectural Review Committee” or “ARC” shall mean and refer to Declarant until the Turnover Meeting as defined in Section 8.2 hereof, has been held and thereafter shall refer to the Board of Directors unless the Board has appointed a separate body or architectural firm to carry out the functions described in Article 6 hereof, in which case “Architectural Review Committee” or “ARC” shall refer to the body so appointed.
- 1.2 “Declarant” shall mean and refer to Palisades Properties, LLC, its successors and assigns, or any successor or assign to all or the remainder of its interest in the development of the Property.
- 1.3 “Declaration” shall mean the covenants, conditions, restrictions, and all other provisions set forth in this Declaration of Covenants, Conditions and Restrictions.
- 1.4 “General Plan of Development” shall mean Declarant’s general plan of development of the Property, as approved by appropriate government agencies, as such plan may be amended from time to time.
- 1.5 “Home” shall mean and refer to any portion of a structure situated on a Lot, which portion is designed and intended for use and occupancy as a residence by a single family or household.

- 1.6 “Living Unit” shall mean and refer to any portion of a structure situated on a Lot or Lots, which portion is designed and intended for use and occupancy as a residence by a single family or household.
- 1.7 “Lot” shall mean and refer to each and any lot which is shown on the Plat and which is subject to this Declaration.
- 1.8 “Occupant” shall mean and refer to the occupant of a Home who shall be either the Owner, a lessee or any other person authorized by the Owner to occupy the premises.
- 1.9 “Owner” shall mean and refer to the owner of record, whether one (1) or more persons or entities, of the fee simple title to any Lot or to a purchaser in possession under a land sale contract. The foregoing does not include persons or entities that hold an interest in any Lot merely as security for the performance of an obligation.
- 1.10 “Plat” shall mean and refer to the plat for Lincoln Palisades Phase Two, which has been recorded in Lincoln County and which depicts the Lots.
- 1.11 “Property” shall mean and refer to all real property that is subject to this Declaration, including Lots and all improvements located thereon, as more particularly set forth on Exhibit “A”.
- 1.12 “Rules and Regulations” shall mean and refer to the documents containing rules, regulations and policies adopted by the ARC; as such documents may be from time to time amended.
- 1.13 “Tracts” shall mean and refer to those parcels of land that are designated as a Tract on the Plat.
- 1.14 “Lincoln Palisades Phase Two” shall mean the Lots described on the Plat.

## ARTICLE 2

### PROPERTY SUBJECT TO THIS DECLARATION

The real property that is and that shall be held, transferred, sold, conveyed and occupied and improved subject to this Declaration is located in The City Limits of Lincoln City and of Lincoln County, Oregon, and is shown on the Plat for Lincoln Palisades Phase Two, which has been filed in the plat records of Lincoln County, Oregon, and also is described as Exhibit “A”.

## ARTICLE 3

### OWNERSHIP AND EASEMENTS

- 3.1 **Ownership of Lots.** Title to each Lot in Lincoln Palisades Phase Two shall be conveyed in fee to an Owner. If more than one (1) person and/or entity owns an undivided interest in the same Lot, such person and/or entity shall constitute one (1) Owner.
- 3.2 **Easements.** Individual deeds to Lots may, but shall not be required to, set for the easements specified in Article 3.

- 3.2.1 **Easements on Plat.** Lots are subject to the easements and rights of way shown on the Plat.
- 3.2.2 **Additional Easements.** Notwithstanding anything expressed or implied to the contrary on the Plat, the Bylaws or herein, this Declaration shall be subject to all easements granted by Declarant for the installation and maintenance of utilities and drainage facilities necessary for the development of Lincoln Palisades Phase Two. No structure, planting or other material that may damage or interfere with the installation or maintenance of utilities, that may change the direction of flow of drainage channels in the easement areas, or that may obstruct or retard the flow of water through drainage channels in the easement areas shall be placed or permitted to remain within any easement area. The easement area of each Lot and all improvements thereon shall be maintained continuously by the Owner of the Lot, except for those improvements for which a public authority or a utility company.

## ARTICLE 4

### LOTS AND HOMES

4.1 **Residential Use.** The Lots with residential designations shall be used for only residential purposes. Except with the consent of the Board, no trade, craft, business, profession, commercial or similar activity of any kind shall be conducted on any Lot; nor shall any goods, equipment, vehicles, materials or supplies used in connection with any trade service or business be kept or stored on any Lot. Nothing in this paragraph 4.1 shall be deemed to prohibit (a) activities relating to the sale of residences, (b) the right of Declarant or any contractor or homebuilder to construct residences on any Lot, to store construction materials and equipment on such Lots in the normal course of construction, and to use any residence as a sales office or model home for purposes of sales in Lincoln Palisades Phase Two, and (c) the right of the Owner of a Lot to maintain his professional or personal library, keep his personal business or professional records or accounts, handle his personal business or professional telephone calls or confer with business or professional associates, clients or customers in his residence. The Board shall not approve commercial activities otherwise prohibited by this residence. The Board shall not approve commercial activities otherwise prohibited by this paragraph 4.1 for residential properties unless the Board determines that only normal residential activities would be observable outside of the residence and that the activities would not be in violation of Lincoln City or County ordinances. The Lot with the commercial/retail designation shall be utilized in accordance with the uses allowed for this property under the Lincoln City and County Zoning Ordinance.

4.2 **Construction of Homes.** No construction, reconstruction or exterior alterations shall occur on a Lot unless the approval of the ARC is first obtained pursuant to Article 6 hereof. Declarant shall adopt architectural and landscaping guidelines for the ARC and shall act as the ARC until the Turnover Meeting. Considerations such as sitting, shape, size, color, design, height, solar access, or material may be taken into account by the ARC in determining whether or not to consent to any proposed work. No residence shall be more than 35 feet high from the ground. Check building code for requirements.

4.3 **Maintenance of Lots and Homes.** Each Owner shall maintain all portions of his or her Lot and all improvements on such Lot in a clean and attractive condition, in good repair and in such fashion as not to create a fire hazard. Such maintenance shall include, without limitation, painting, repair, and replacement of and care for roofs, gutters, downspouts, exterior building surfaces, walks and other exterior improvements and glass surfaces. All repainting or restaining and exterior remodeling shall be subject to prior review and approval by the ARC. In addition, each Owner shall keep all shrubs, trees, grass and plantings of every kind on his Lot neatly trimmed, properly cultivated and free of trash, weeds and other unsightly material. Owner must also have basic landscaping on grounds. No trees, in excess of six feet in height, or four inches in diameter, may be removed without a tree cutting permit issued by the ARC or

Lincoln City. Damage caused by fire, flood, storm, earthquake, riot, vandalism, or other causes shall likewise be the responsibility of each Owner, and any Lot or improvement thereon that is so damaged shall be restored within a reasonable period of time.

4.4 **Rental of Homes.** Owner shall abide by the Lincoln City Rental Code.

4.5 **Animals.** No animals, livestock or poultry of any kind, other than four (4) household pets, which are not kept, bred or raised for commercial purposes and which are reasonably controlled so as not to be a nuisance, shall be permitted within any Lot. Any inconvenience, damage or unpleasantness caused by such pets shall be the responsibility of the respective Owners thereof. Dogs shall not be permitted to roam the Property unattended, and all dogs shall be kept on a leash while outside their owner's Lot. An Owner may be required to remove a pet upon the receipt of the third notice in writing from the Board of violation of any rule, regulation or restriction governing pets within the Property. Any dog which the Board of Directors reasonably determines is vicious or dangerous to Owners of Lots, their families and guests, shall be removed by the Owner thereof immediately upon written notice from the Board of Directors. At the owner's request after such removal, a hearing will be held by the Board of Directors to review its determination and affirm or reverse its previous determination. Any dog, which is considered vicious under any Lincoln City or County ordinance, shall be conclusively deemed a vicious dog, which the Board of Directors shall exclude from the Property.

4.6 **Offensive or Unlawful Activities.** No noxious or offensive activities shall be carried on upon any Lot, nor shall anything be done or placed on any Lot which interferes with or jeopardizes the enjoyment of other Lots, or which is a source of annoyance to residents. No unlawful use shall be made of a Lot nor any part thereof, and all valid laws, zoning ordinances and regulations of all governmental bodies having jurisdiction thereof shall be observed.

4.7 **Parking.** Parking of commercial vehicles, boats, trailers, motorcycles, trucks, truck campers or other recreational vehicle or equipment shall not be allowed on any part of the Property, except only if or within the confines of an enclosed garage or screened area, the plans of which shall have been reviewed and approved by ARC prior to construction, and no portion of the same may project beyond the screened area. No vehicle owned, rented, borrowed or under the control of the occupant of the dwelling located on the Lot and no vehicles owned by others who are guests of the occupants of the dwelling may be parked on the street roadway area for more than seven (7) days.

4.8 **Vehicles in Disrepair.** No Owner shall permit any vehicle that is in an extreme state of disrepair to be abandoned or to remain parked upon any Lot or on the Common Area for a period in excess of forty-eight (48) hours. A vehicle shall be deemed to be in an "extreme state of disrepair" when the Board reasonably determines that its presence offends the Owners or Occupants. Should any Owner fail to remove such vehicle within five (5) days following the date on which the notice is mailed to him by Lincoln City, the board or City may have the vehicle removed from the Property and may charge the expense of such removal to the Owner.

4.9 **Signs.** No signs shall be erected or maintained on any Lot except a project sign and except that not more than one (1) "For Sale" or "For Rent" sign placed by the Owner. Declarant or by a licensed real estate agent, after approval as to form by the ARC, may be temporarily displayed on any Lot.

4.10 **Rubbish and Trash.** No Lot or roadway shall be used as a dumping ground for trash or rubbish of any kind. All garbage and other waste shall be kept in appropriate sanitary containers for proper disposal and out of public view. Yard rakings, dirt and other material resulting from landscaping work shall not be dumped onto the roadways. A reasonably sized compost area shall be permitted as long as it is not offensive to other Owners. Should any Owner fail to remove any trash, rubbish, garbage, yard rakings or any such materials from any Lot or any streets where deposited by him within five (5) days following the date on which notice is mailed to him by the Board or the City may have such materials removed and may charge the expense of such removal to the Owner.

4.11 **Landscape Completion.** All landscaping must be completed within six (6) months from the date a Certificate of Occupancy is issued by the governing authority for the dwelling unit constructed thereon. In the event of undue hardship due to weather conditions, this provision may be extended for a reasonable length of time upon written approval of ARC.

4.12 **Temporary Structures.** No structure of a temporary character, trailer, basement, tent, shack, garage, barn or other outbuildings shall be used on any Lot at any time as a residence either temporarily or permanently.

4.13 **Manufactured Dwellings Excluded.** No manufactured dwellings, as that term is defined in ORS Chapter 446 as of the date of this declaration, shall be used on any lot at any time as a residence either temporarily or permanently.

4.14 **Fences.** All fences, screens and similar structures shall not obstruct any Lot's view, and are subject to the ARC approval process.

4.15 **Service Facilities.** All telephone, power, natural gas, cable television and other communication lines shall be placed underground.

4.16 **Antennas and Satellite Dishes.** Exterior antennas and satellite receivers shall not be permitted to be placed upon any Lot or improvement except as approved by ARC. Exterior satellite dishes with a surface diameter of twenty-four (24) inches or less may be placed on any Lot so long as they are not visible from the street of neighboring properties.

4.17 **Plan and Exterior Color Approval.** All exteriors of residences shall be constructed of natural cedar shingles, board and batten, or cedar beveled lap siding either left natural or painted or stained in shades or colors approved by the ARC. Complete plans, including landscape plans, grade elevations and exterior color, trim color, and exterior lighting selection must be submitted to ARC for approval prior to the start of construction. It is suggested that preliminary plans be submitted to ARC for preliminary approval prior to commencing working drawings.

4.18 **Roofing Materials.** Roofs are to be constructed of materials approved by ARC. No metal roofs will be allowed.

4.19 **Outdoor Lighting.** The number, type, design and candle power of outdoor lighting shall be subjected to the review of ARC. Outdoor lighting that is offensive to a neighbor may require change at the direction of ARC.

4.20 **Grades, Slopes and Drainage.** The established drainage patterns or systems over or through any Lot within Lincoln Palisades shall not be interfered with so as to affect any other lot or Common Area or any real property outside Lincoln Palisades unless adequate alternative provision is made for proper drainage and is approved by the ARC. The term "established drainage" shall mean the drainage swales, conduits, inlets and outlets naturally existing or designed and constructed for storm water run off.

4.21 **Damage or Destruction to Home and/or Lot.** If all or any portion of a Lot or Home is damaged by fire or other casualty, the Owner shall either (i) restore and damaged improvements or (ii) removed all damaged improvements, including foundations, and leave the Lot in a clean and safe condition. Any restoration proceeding under (i) above must be performed so that the improvements are in substantially the same condition in which they existed prior to the damage, unless the provisions of Article 6 hereof are complied with by the Owner. The Owner must commence such work within sixty (60) days after the damage occurs and must complete the work within six (6) months thereafter. In addition, Owners shall act in accordance with the provisions of any applicable party wall and maintenance agreements; provided, however, that in the event of a conflict between the provisions hereof and of such an agreement, the provisions hereof shall control.

4.22 **Ordinances and Regulations.** The standards and restrictions set forth in this Article 4 shall be the minimum required. To the extent that local governmental ordinances and regulations are more restrictive or provide for a higher or different standard, such local governmental ordinances and regulations shall prevail.

4.23 **Construction Debris.** Every contractor building any improvement upon any lot or the Common Area shall furnish trash containers and at all times shall keep the premises free from accumulation of trash and scrap caused by construction. Trash shall not be allowed outside a designated trash and scrap area and any that does intrude beyond shall be cleaned up immediately. Upon completion of the work, all remaining trash and scrap shall be disposed of legally. Tools, construction equipment, machinery, and surplus materials shall be removed from the site. The ARC or Declarant shall be entitled to enter upon any construction site within Lincoln Palisades and to clean up, remove and dispose of materials on-site, to charge the contractor for any costs incurred by the ARC or Declarant in performing such acts, and to recover such costs and attorneys' fees and court costs in a legal action against contractor.,

4.24 **Construction Activities and Noise.** Construction activities shall not take place before noon on Sundays and Holidays. Holiday hours shall be announced by the ARC. The ARC may impose additional restrictions on hours or days on which construction activity can take place and may place limits on noise levels. Pets shall not be permitted on any construction site. See Lincoln City codes.

4.25 **Final Inspection.** A final inspection and approval shall be obtained from the Lincoln County Building Department before any Home within Lincoln Palisades Phase Two may be occupied or rented.

## ARTICLE 5

### **ARCHITECTURAL REVIEW COMMITTEE**

5.1 **Architectural Review.** No improvement shall be commenced, erected, placed or altered on any Lot until the construction plans and specification showing the nature, shape, heights, materials, colors, and proposed location of the improvement have been submitted to and approved in writing by the ARC. It is the intent and purpose of this Declaration to assure quality of workmanship and materials and the harmony of exterior design with the existing improvements and landscaping. The ARC is not responsible for determining compliance with structural and building codes, solar ordinances, zoning codes or other governmental regulations. Nor shall the ARC's review analyze structural, geophysical, engineering or other similar factors. Such compliance and analysis are the responsibilities of the Owners. The procedure and specific requirements for review and approval of construction may be set forth in design guidelines adopted from time to time by the ARC. In all cases in which the ARC's consent is required by this Declaration, the provisions of this Article 6 shall apply.

5.2 **Architectural Review Committee, Appointment and Removal.** The ARC shall consist of no fewer than one (1) members and no more than three (3) members, unless an architectural firm is appointed to serve as the ARC. Declarant reserves the right to appoint all members of the ARC and, from time to time, any replacements thereto until the Turnover Meeting, as defined in Section 8.2 hereof. Until the Turnover Meeting, Declarant may appoint an architect or architectural firm to serve as the ARC. After the Turnover Meeting, Declarant shall delegate the right to appoint and remove members of the ARC to the Board, which board may continue to utilize an architect or architectural firm as the ARC. The term of office for each member of the ARC shall be one (1) year unless lengthened by the Board at the time of appointment or entry into contract with architectural firm or unless the Board serves as the ARC, in which event the terms of ARC members shall be the same as their terms as Board members. The Board may appoint one (1) or more members who are not Owners but who have special expertise regarding the matters which come before the ARC to the ARC. In the sole discretion of the Board, such non-Owner members of the ARC may be paid.

5.3 **Majority Action.** Except as otherwise provided in this Declaration, a majority of the members of the ARC shall have the power to act on behalf of the ARC, without the necessity of a meeting and without the necessity of consulting the remaining members of the ARC. The ARC may render its decision only by written instrument setting forth the action taken by the members consenting thereto.

5.4 **Duties.** The ARC shall consider and act upon the proposals and/or plans submitted pursuant to his Article 6. The ARC, from time to time at its sole discretion, may adopt architectural rules, regulations and guidelines (“Architectural Standards”). The Architectural Standards shall interpret and implement the provisions of this Declaration for architectural review and guidelines for architectural design, placement of buildings, color schemes, exterior finishes and materials and similar features that may be used in Lincoln Palisades Phase Two; provided, however, that the Architectural Standards shall not be in derogation of the minimum standards established by this Declaration.

5.5 **ARC Decision.** The ARC shall render its approval or denial decision with respect to a construction proposal within thirty (30) working days after it has received all materials required by it with respect to the application. All decisions shall be in writing. In the event that the ARC fails to render its decision of approval or denial in writing within thirty (30) days of receiving all material required by it with respect to the proposal, the application shall be deemed approved.

5.6 **ARC Discretion.** The ARC may, at its sole discretion, withhold consent to any proposed work if the ARC finds the proposed work would be inappropriate for the particular Lot or incompatible with the design standards that the ARC determines are appropriate for Lincoln Palisades Phase Two. Siding, shape, size, color, design, height, solar access, effect on the enjoyment of other Lots, effect on an easement and any other factors which the ARC reasonably believes to be relevant may be taken into consideration by the ARC in determining whether to consent to any proposed work.

5.7 **Nonwaiver.** Consent by the ARC to any matter proposed to it or within its jurisdiction shall not be deemed constitute precedent or waiver impairing its right to withhold approval as to any similar matter thereafter proposed or submitted to it for consent.

5.8 **Appeal.** At any time after Declarant has delegated appointment of the members of the ARC to the Board pursuant to Section 6.2 hereof, any Owner adversely affected by action of the ARC may appeal such action to the Board. Appeals shall be made in writing within ten (10) days of the ARC’s action and shall contain specific objections or mitigating circumstances justifying the appeal. If the Board is already acting as the ARC, the appeal shall be treated as a request for a rehearing, but in such case the Board must actually meet and receive evidence and argument. A final decision shall be made by the Board within fifteen (15) days after receipt of such notification. The determination of the Board shall be final.

5.9 **Effective Period of Consent.** The ARC’s consent to any proposed work shall automatically be revoked six (6) months after issuance unless construction of the work has been commenced or the Owner has applied for and has received an extension of time from the ARC. Once commenced, any such work shall be completed in six (6) months.

5.10 **Determination of Compliance.** From time to time, the ARC shall inspect all work performed and shall determine whether it is in substantial compliance with the approval granted. If the ARC finds that the work was not performed in substantial conformance with the approval granted, or if the ARC finds that the approval required was not obtained, the ARC shall notify the Owner in writing of the noncompliance. The notice shall specify the particulars of noncompliance and shall require the Owner to remedy the noncompliance.

5.11 **Noncompliance.** If the ARC determines that an Owner has not constructed an improvement consistent with the specifications of an approval granted, and if the Owner fails to agree to and diligently commence to remedy such noncompliance in accordance with the provisions of the notice of noncompliance, then at the expiration of the third (3<sup>rd</sup>) day from the date of such notification, the ARC shall provide notice to such Owner of a hearing at which such Owner’s continuing noncompliance shall be considered. The hearing shall be held not more than thirty (30) days after the date of the notice of

noncompliance. At the hearing, if the ARC finds that there is no valid reason for the continuing noncompliance, the ARC shall determine the estimated costs of correcting it. The ARC shall then require the Owner to remedy or remove the same within ten (10) days after the date of the ARC's determination. If the Owner does not comply with the ARC's ruling within such period or within any extension of such period as the ARC, at its discretion, may grant, the ARC may remove the noncomplying improvement, remedy the noncompliance, or file suite to compel compliance. The costs of such action, including all attorney's fees and other costs incurred to enforce compliance, whether incurred before or after suit is filed, at trial or on any appeal or review there from, shall be assessed against the Owner and his Lot.

5.12 **Liability.** Neither the ARC nor any member thereof shall be liable to any Owner, Occupant, builder or Declarant for any damage, loss or prejudice suffered or claimed on account of any action or failure to act of the ARC or a member thereof, provided that the ARC or member has, in accordance with its or his actual knowledge, acted in good faith.

5.13 **Estoppel Certificate.** Within thirty (30) working days after written request is delivered to the ARC by an Owner, and upon payment to the ARC of a reasonable fee fixed by the ARC to cover costs, the ARC shall provide such Owner with a certificate executed by the chairman of the ARC and acknowledged, certifying with respect to any Lot owned by the Owner, that as of the date thereof either: (a) all improvements made or done upon or within such Lot by the Owner comply with this Declaration and any Rules and Regulations promulgated by the Board or the ARC or (b) such improvements do not so comply, in which event, the certificate shall also identify the non-complying improvement and set forth with particularity the nature of such non-compliance. The Owner, his heirs, devisees, successors and assigns shall be entitled to rely on the certificate with respect to the matters set forth therein. The certificate shall be conclusive as among Declarant, the ARC, the Association and all Owners and such persons deriving any interest through any of them.

5.14 **Approval of Contractors and Insurance.** Contractors providing services in connection with the development or improvement of any Lot shall be subject to the following requirements: Contractors shall be approved Ashley Stanford by the ARC. General Contractors and subcontractors shall be licensed as required by local governmental ordinances and regulations. General contractors shall warrant all materials and workmanship to be of good quality and to remain in good condition for a period of one (1) year. A general contractor shall furnish to the Association evidence of public liability insurance in amounts reasonably acceptable to the ARC. Combined single limits of One Million Dollars (\$1,000,000) shall be deemed acceptable. The ARC may require the contractor to post a bond to assure that the interests of the project are protected and the requirements of the Declaration and Bylaws are followed. The ARC may place limitations on the hours and days on which construction activity can take place. In addition, the ARC may impose restrictions on the noise or decibel level at construction sites.

5.15 **Other Applicable Law.** All improvements must be constructed in full compliance with all applicable governmental building codes. All ARC review and inspection procedures are intended to assure compliance only with aesthetic considerations. Declarant, its affiliates, and the ARC are not responsible for design or construction defects or failure of the building to meet appropriate building codes.

## ARTICLE 6

### **DECLARANT CONTROL**

6.1 **Interim Board and Offices.** Declarant hereby reserves administrative control of the Association, including, without limitation, the right and power, in its sole discretion, to appoint and remove members of an interim Board of Directors (the "Interim Board"), which shall manage the affairs of the project and which shall be invested with all powers and rights of the Board. The Interim Board shall consist of from one (1) to three (3) members. Notwithstanding the provision of this Section 8.1, at the

Turnover Meeting at least one (1) Director shall be elected by Owners other than Declarant, even if Declarant otherwise has voting power to elect all of the members of the Board.

6.2 **Turnover Meeting.** Declarant shall call a meeting for the purpose of turning over administrative control of the project from Declarant to Class A members within one hundred twenty (120) days of the earliest of the following dates:

- 6.21.1 **Upon Sale of Lots.** The date on which Lots representing seventy-five percent (75%) of the total number of votes have been conveyed to persons other than Declarant. (For purposes of this calculation, the votes which would be attributable to annexable lots shall be counted as “Lots” owned by Declarant);
- 6.21.2 **Date Certain.** Seven (7) years from the date on which this Declaration is recorded; or
- 6.21.3 **Declarant’s Election.** The date on which Declarant elects in writing to terminate Class B membership. Declarant shall give notice of the meeting to each Owner as provided in the Bylaws. If Declarant does not call the meeting required under this Section 8.2, any Owner may do so.

## ARTICLE 7

### **DECLARANT’S SPECIAL RIGHTS**

7.1 **General.** Declarant is undertaking the work of developing Lots and other improvements within Lincoln Palisades Phase Two. The completion of the development work and the marketing and sale of the Lots is essential to the establishment and welfare of the Property as a residential community. Until the Homes on all Lots on the Property have been constructed, fully completed and sold, with respect to each Lot on the Property, Declarant shall have the special rights set forth in this Article 9.

7.2 **Marketing Rights.** Declarant shall have the right to maintain a sales office and model on one (1) or more of the Lots that Declarant owns, which sales office(s) and model(s) shall be staffed by the employees of Declarant or any licensed real estate sales agents. Declarant and prospective purchasers and their agents shall have the right to use and occupy the sales office and models during reasonable hours any day of the week. Declarant may maintain a reasonable number of “For Sale” signs at reasonable locations on the Property.

7.3 **Declarant Easements.** Declarant has reserved easements over, in, upon, under or across the Property as more fully described in Article 3 of this Declaration.

## ARTICLE 8

### **GENERAL PROVISIONS**

8.1 **Enforcement: Attorney’s Fees.** The ARC, the Owners, and any mortgages on any Lot shall have the right to enforce all of the covenants, conditions, restrictions, reservations, easements, liens and charges now or hereinafter imposed by any of the provisions of this Declaration as may pertain specifically to such parties or Owners by any proceeding at law or in equity. Failure by the ARC, any Owner, or a mortgage to enforce any covenant, condition or restriction herein contained shall in no event be deemed to be a waiver of its right to do so thereafter.

8.2 **Duration.** The covenant, conditions and restrictions of this Declaration shall run with and bind the land for a term of thirty-five (35) years from the date on which this Declaration is recorded, after which time they shall be automatically extended for successive periods of (10) years, unless rescinded by a vote of at least seventy-five percent (75%) of the Owners; provided, however, that amendments that do not constitute rescission of the planned community may be adopted as provided in Section 11.7 below.

8.3 **Unilateral Amendment by Declarant.** Declarant may amend this Declaration to comply with the requirements of the Federal Housing Administration of the United States, the Federal National Mortgage Association, the Government National Mortgage Association, the Federal Home Mortgage Loan Corporation, any department, bureau, board, commission or agency of the United States or the State of Oregon, or any other state in which the Lots are marketed and sold, or any corporation wholly owned, directly or indirectly, by the United States or the State of Oregon, or such other state, the approval of which entity is required in order for it to insure, guarantee or provide financing in connection with development of the Property and sale of Lots. Before the Turnover Meeting, no such amendment shall require notice to or approval by any Class A member. In addition, Declarant may amend this Declaration as provided for under Article 12 below.

8.4 **Private Agreement.** This Declaration and the covenants and agreements contained herein constitute a private agreement among the Owners of Lots in Lincoln Palisades Phase Two, Lincoln City or County is under no obligation to enforce any of its provisions. Likewise, the ARC and Declarant are under no obligation or duty to enforce Lincoln City or County regulations or to warrant to Owners that proposed improvements comply with Lincoln City or County regulations, such being the sole and exclusive responsibility of the Owner. This Declaration does not restrict Lincoln City or County's authority to adopt or amend its development regulations. Lincoln City and County shall limit its review of a development application to the requirements of its regulations. It is the duty of every person engaged in development or remodeling of a Lot or an improvement in Lincoln Palisades Phase Two to know the requirements of this Declaration and the covenants and agreements contained herein. In the event that a Lincoln City or County regulation conflicts with a provision of this Declaration, any question regarding which provision controls shall be directed to the ARC. While the ARC lacks authority to authorize the Owner to violate a Lincoln City or County standard, it may require the Owner to meet standards that meet or exceed the City or County's standards. Lincoln City and County shall not be liable for any approvals or permits that are granted in compliance with Lincoln City or County regulations but that are not in compliance with this Declaration.

8.5 **Resolution of Document Conflicts.** In the event of a conflict among any of the provisions in the documents governing Lincoln Palisades Phase Two, such conflict shall be resolved by looking to the following documents in the order shown below:

8.5.1 Declaration of Covenants, Conditions and Restrictions;

8.5.2 Rules and Regulations. The provisions of the Oregon Planned Community Act, ORS 94.550 et, seq, shall be paramount to the provisions in all of the above listed documents.

## ARTICLE 9

### **RIGHT TO AMEND DOCUMENTS**

9.1 Declarant hereby reserves the right to amend this Declaration and other documents relating to formation of Lincoln Palisades Phase Two, including, without limitation, the unilaterally and without obtaining the consent of any other Owner. Declarant may exercise such right to amend only to facilitate the partition or subdivision of Lots. Amendments made under this Article 9 shall be limited to those that Declarant in its sole and unfettered discretion deems to be necessary to identify Lots properly.

IN WITNESS WHEREOF, the undersigned being the Declarant herein, has executed this instrument this \_\_\_\_\_ day of \_\_\_\_\_, 2007.

Palisades Properties, LLC

By: \_\_\_\_\_  
Thomas H. Scott

STATE OF OREGON }  
  }ss.  
County of Lincoln }

This instrument was acknowledged before me on this \_\_\_\_\_ day of \_\_\_\_\_, 2007, by Thomas H. Scott, as \_\_\_\_\_ of Palisades Properties, LLC.

\_\_\_\_\_  
NOTARY PUBLIC FOR OREGON  
My Commission Expires: \_\_\_\_\_

**LINCOLN PALISADES LEGAL DESCRIPTION**

Real Property in the County of Lincoln, State of Oregon, described as follows:

Tracts 61 and 62, EXCEPTING from tract 61 that portion conveyed in deed recorded December 6, 2002, Book 466, Page 871, Microfilm Records, All in LINCOLN PALISADES, In Lincoln County, Oregon.

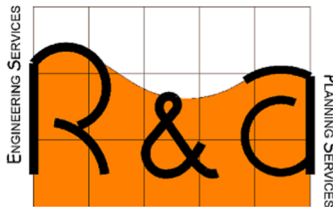
# Lincoln Palisades Phase VI

## Preliminary Master Plan Application

**Prepared for:**

Alpha Building Ventures, LLC  
C/O Steve Lindell  
P.O. Box 688  
McMinnville, Oregon 97128

**Prepared by:**



Reece & associates, inc.

Reece & associates, inc.  
321 first avenue east, suite 3a  
albany, oregon 97321  
541/926-2428  
[www.r-engineering.com](http://www.r-engineering.com)

July 14, 2021

## Lincoln Palisades Phase VI

**Project Summary**

Request:	Application for approval of the Preliminary Master Plan for Lincoln Palisades Phase VI, a 36-lot residential planned development.
Location:	Unassigned Intersection of NE 51 <sup>st</sup> Loop and NE Wave Lane Lincoln County Assessor's Map No. 6s11w35CD, Lot 102
Applicant/Owner:	Alpha Building Ventures, LLC C/O Steven Lindell P.O. Box 688 McMinnville, Oregon 97128 503-723-53-47 slindell@onlinenw.com
Engineer/Planner:	<b>Reece &amp; associates, Inc.</b> 321 1 <sup>st</sup> Avenue Suite 3A Albany OR 97321 541-926-2428 Engineer: David J. Reece, PE      Planner: Hayden Wooton dave@r-aengineering.com      haydenw@r-aengineering.com

**Exhibits:**

- A – Lincoln County Assessor's Map
- B – Aerial Photograph
- C – Lincoln City Zoning Map
- D – Partition Plat 2015-13
- E – R&a Conversion Plan
- F – CC&Rs

**Sheet:**

- 1.0 – Cover Sheet
- 2.0 – Existing Conditions
- 3.0 – Street Layout
- 3.1 – Preliminary Landscape Plan & Tree Inventory
- 3.2 – Preliminary Landscape Plan & Tree Inventory Notes
- 4.0 – Overall Utility Plan
- 4.1 – NE 51<sup>st</sup> Loop Profile – STA -1+20 to 2+75
- 4.2 – NE 51<sup>st</sup> Loop Profile – STA 2+75 to 5+50
- 4.3 – NE 51<sup>st</sup> Loop Profile – STA 5+50 to 8+25
- 4.4 – Street A Plan & Profile
- 4.5 – Street A Storm Plan and Profile

## I. Project Description

Located at an unaddressed parcel, the Lincoln Palisades Phase VI will create 36 lots for detached, single-family dwellings on 7.57 acres identified as Tax Lot 102 on Lincoln County Assessor's Map No. 6s11w35CD (Exhibit A). Lincoln Palisades Phase VI will dedicate approximately 4.5 acres as public street right-of-way. The net land area of 3.07 acres will be divided into 36 lots for detached, single-family dwellings. The resulting lots will vary in size, ranging from 5,096 square feet to 13,199 square feet. It is the applicant's intention to construct the planned development in one phase.

The proposed development conforms to all applicable sections of the Lincoln City Municipal Code (LCMC). This application narrative provides findings of fact that demonstrate conformance with all applicable sections of the LCMC. Applicable criteria of the LCMC will appear in *italics* followed by the applicants' responses in regular font.

## II. Existing Conditions

NE 51<sup>st</sup> Loop terminates on the property's western boundary and NE Wave Lane forms a portion of this property boundary before intersecting with NE 51<sup>st</sup> Loop. These streets are both constructed to Lincoln City's local street standards, consisting of curb, gutter, and a paved lane in each direction. However, the construction of sidewalks was deferred until individual lots were developed. Existing storm drains flow water through the site near the north and south property lines. Moderately vegetated, the site mostly consists of brush and shrubs. Although there are six inventoried trees located near NE 51<sup>st</sup> Loop. Similar to the previous phase of Lincoln Palisades, this property slopes southeast towards a natural preserve owned by the City of Lincoln City.

For Adjacent zones and land uses refer to (Exhibit B for aerial photograph and Exhibit C for City of Lincoln City zoning map):

North: Single-family dwellings under constructed in Lincoln Palisades Phase V zoned R-1-7.5 by the City of Lincoln City.

South: Single-family dwellings constructed in Pacific Rim Estates zoned R-1-7.5 by the City of Lincoln City.

East: Open space tract owned by the City of Lincoln City zoned R-1-7.5

West: Single-family dwellings constructed in Lincoln Palisades Phase II zoned R-1-7.5 by the City of Lincoln City.

## III. Planned Development Standards

As set forth in LCMC 16.08.050, "A subdivision with land area greater than two acres or 10 lots shall be processed as a planned development." Because Lincoln Palisades Phase VI will subdivide the subject property into 36 lots, it must comply with applicable standards in LCMC 17.77.120. The applicant has provided detailed findings of fact demonstrating compliance with these standards below:

[LCMC 17.77.120.A] *Purpose. It is the purpose of this section to allow master planned developments in any residential or commercial zone, or any combination of them, and in doing so, to allow a more flexible approach to land development than that which is normally accomplished through the subdivision and zoning ordinances of the city. The planned development approach is intended to provide more desirable environments by encouraging creative site planning and building designs; to make possible greater*

*diversification between buildings and open spaces; and to conserve land and minimize development costs. In addition to the uses allowed in residential zones, the planned development approach may allow certain commercial uses subject to the specific limitations of this section.*

The purpose of Lincoln Palisades Phase VI is to utilize the flexible approach granted to development by the Planned Unit Development (PUD) process to provide detached, single-family housing to the City of Lincoln City. The subject parcel was created by partition in 2015 (Exhibit D). This partition divided the upland buildable area from the steep slopes and wetlands nearby. The result was a clear delineation between buildable land and preserved natural features. Because of the creative site planning and design permitted through a PUD, the proposed development can efficiently use the buildable land created by this partition. A conversion plan was submitted and approved with the partition application demonstrating how the property could be development to urban density (Exhibit E). The proposed preliminary master plan mostly conforms to this conversion plan. The proposed preliminary master plan complies with the purpose statement of LCMC 17.77.120 Planned Unit Development.

[LCMC 17.77.120.B] *Allowable Density. The allowable residential density in a planned development that meets on the minimum planned development standards is the “maximum base residential density” and shall be determined in the following manner:*

1. *Determine the gross square footage of the project.*

The subject property has an area of 7.57 acres or 329,749 gross square feet.

2. *Subtract from the gross square footage the square footage of any areas proposed for nonresidential development, including commercial uses, places of worship, schools, and public buildings and their associated parking areas and grounds (including required yards and landscaping areas). The result is the “preliminary gross residential area.”*

The preliminary gross residential area is 329,749 square feet because this proposal does not include any area for nonresidential development.

3. *Subtract from the preliminary gross residential area the square footage of any areas of significant natural resources as identified in the comprehensive plan. The result is the “final gross residential area.”*

There are no areas of significant natural resources located on the subject property. Therefore, the final gross residential area is 329,749 square feet.

4. *Multiply the final gross residential area by 0.83. The result is the “final net residential area.”*

When the final gross residential area is multiplied by 0.83, the resulting final net residential area is 273,691.67 square feet.

5. *Divide the final net residential area by the minimum lot size of the underlying zone. The result is the “maximum base residential density” expressed in dwelling units. Any number not a whole number shall be rounded down to a whole number.*

## Lincoln Palisades Phase VI

The subject property is zoned R-1-7.5; consequently, the applicable minimum lot size is 7,500 square feet. The maximum base residential density is 36 units ( $273,691/7,500 = 36.49$ ).

[LCMC 17.77.120.C] *Residential Density Bonuses.*

The applicant is not requesting a residential density greater than the 36 units permitted under LCMC 17.77.120(B). Therefore, the standards outlined in LCMC 17.77.120(C)(a)-(i) are not applicable.

[LCMC 17.77.120.D] *Affordable Housing Bonus.*

Lincoln Palisades Phase VI does not include an affordable housing element. Therefore, the standards outlined in LCMC 17.77.120(D)(1)-(2) are not applicable.

[LCMC 17.77.120.E] *Large-Scale, Mixed Use Planned Developments. This subsection sets forth special provisions for large-scale, mixed use planned developments that provide additional amenities for residents, visitors, and the larger Lincoln City community while ensuring that impacts can be internalized and mitigated through master planning and coordinated on-site management.*

Lincoln Palisades Phase VI is not one-hundred acres or larger, does not have direct access to an arterial street, and does not designate at least 35 percent of the gross planned development site area as open space. Therefore, these standards are not applicable.

[LCMC 17.77.120.F] *Preliminary Master Plan Application. The preliminary master plan, which must include a drawing showing the layout of the proposed planned development, must contain the following information.*

A preliminary master plan containing the applicable information in LCMC 17.77.120.F(1)-(6) is included in this application package. Please refer to the attached plan set for conformance with this standard.

[LCMC 17.77.120.G] *Supplemental Preliminary Master Plan Information. The applicant also shall submit the following information to supplement the preliminary master plan. This information can be submitted in separate statements accompanying the preliminary master plan:*

[LCMC 17.77.120.G.1] *Proposed restrictions to be filed in the county deed records, in outline form, such as deed restrictions, conditions, covenants and restrictions, and homeowners' association agreements. The outline restrictions shall identify the time at which the restrictions will be filed in county deed records; generally who will have authority to enforce the restrictions; specifically which restrictions, if any, are proposed to be enforceable by the city; the time at which the restrictions will become enforceable; and which restrictions, if any, will not be subject to amendment without the consent of the city.*

Covenants, Conditions, and Restrictions (CC&Rs) initially recorded to govern Lincoln Palisades Phase II (Exhibit F) will also be recorded with this phase of the Lincoln Palisades.

[LCMC 17.77.120.G.2] *Approximate locations and anticipated grades of all streets. Typical cross sections of the proposed streets showing widths of roadways, curbs, location and widths of*

*sidewalks and the location and size of utility mains.*

The preliminary master plan details the existing and proposed locations, grades, and typical cross-sections of NE 51<sup>st</sup> Loop and Street "A." Also illustrated on the plans are location and size of existing and proposed utility mains.

[LCMC 17.77.120.G.3] *Approximate plan of proposed sanitary sewers, storm drains, storm water detention and drainage pretreatment facilities and the water distribution system.*

The preliminary master plan details the connection to and extension of Lincoln City's sanitary sewer and water system. The proposed stormwater quality facilities are also described on the preliminary master plans.

This development does not require stormwater detention systems.

[LCMC 17.77.120.G.4] *A general description of property intended to be dedicated to the city or public, other than street rights-of-way, including proposed dedication restrictions.*

Other than street rights-of-way, no property will be dedicated to the city.

[LCMC 17.77.120.G.5] *A description of any residential density bonus the applicant is requesting, including evidence demonstrating compliance with applicable density bonus standards.*

No residential density bonuses are requested.

[LCMC 17.77.120.G.6] *Proposed number of residential units.*

Lots created in Lincoln Palisades Phase VI are intended for the construction of detached, single-family dwellings.

[LCMC 17.77.120.G.7] *An approximate tabulation of all dwelling units by type.*

At this time, the applicant anticipates the construction of only detached, single-family dwellings.

[LCMC 17.77.120.G.8] *A narrative description of the planned unit development and the manner in which it meets the purpose set out in subsection (A) of this section.*

A description of the planned development and a direct response to LCMC 17.77.120.A are provided earlier in this application narrative.

[LCMC 17.77.120.G.9] *A statement describing the present and proposed ownership.*

The property is currently owned by Alpha Building Ventures, LLC, the applicant for Lincoln Palisades Phase V. Alpha Building Ventures, LLC, will continue to own the property through the entitlement process. Afterwards, the applicant might develop individual lots themselves or sell lots for development by others.

[LCMC 17.77.120.G.10] *A preliminary landscape plan, covering both areas to retain undisturbed*

## Lincoln Palisades Phase VI

*their natural vegetation and areas to be relandscaped.*

A preliminary landscape plan is included in the preliminary master plan. The proposed landscape plan utilizes native species of trees, shrubs, and groundcover as prescribed by the City's Guide to Landscape Selections.

[LCMC 17.77.120.G.11] *A circulation plan and traffic impact analysis identifying likely circulation patterns for and traffic impacts from traffic generated by the development including patterns and impacts within the development, in the area surrounding the development, and in other affected areas of the city.*

Access Engineering completed a Traffic Impact Analysis (TIA) for all six phases of the Lincoln Palisades project. However, since the TIA was completed in 2013, phase boundaries and residential unit types have changed. To account for these modifications, trip counts generated by Lincoln Palisades Phase VI have been modified to accurately reflect this phase. Data in the tables below are based on the Ninth Edition of the Institute of Transportation Engineers Trip Generation Manual and Access Engineering's TIA.

Trip Generation Rates							
ITE Land Use Code	Land Use Description	Independent Variable	Trip Ends Rate		In/Out Split (Percent)		
			PM Peak Hour	Daily	PM Peak Hour	Daily	
210	Single Detached Homes	36	1.25	12.10	52/48	50/50	

Lincoln Palisades Phase VI is forecasted to generate 45 trips during the p.m. peak hour and 435 daily trips, as shown in the table below.

Trip Generation Forecast						
ITE Land Use Code	Land Use Description	Independent Variable	PM Peak Hour Trip Ends			Daily
			In	Out	Total	
210	Single Detached Homes	36	23	22	45	435

Several nearby streets would experience increased traffic from Lincoln Palisades Phase VI. NE Voyage Avenue, NE 47<sup>th</sup> Street, NE West Devils Lake Road, and NE Logan Road south of NE 50<sup>th</sup> Street are all constructed to Lincoln City standards and would experience vehicle trips generated by Lincoln Palisades Phase VI.

These streets are intended to accommodate traffic at full build out of the surrounding area and are in good repair. In addition to the above-mentioned streets, NE Port Lane and NE Logan Road north of NE 50<sup>th</sup> Street are two rural roads that will also experience an increase in traffic. These roads have a paved lane in each direction but lack frontage improvement such as curbs, gutters, and sidewalks. However, these roads are still capable of accommodating the increased vehicle traffic.

As previously mentioned, Lincoln Palisades Phase VI will generate 45 p.m. peak hour trips or one trip every 1.3 minutes during the peak hour. No improvements are warranted to

## Lincoln Palisades Phase VI

accommodate traffic generated by Lincoln Palisades Phase VI because of the relatively low level of trips generated and overall condition of the affected streets.

[LCMC 17.77.120.G.12] *A statement whether the applicant proposes to submit the final master plan for review as a single master plan or in phases; a statement of the date or dates by which the applicant proposes to submit the final master plan or final master plan phases for review; and a statement of the date or dates by which the applicant anticipates that the development and related improvements or each phase thereof will be substantially completed.*

The applicant proposed to submit the final master for review as a single master plan at the earliest opportunity.

[LCMC 17.77.120.G.13] *A tree maintenance and protection plan.*

Buena Vista Arbor Care inventoried trees larger than six inches DBH and these trees are identified on the preliminary master plan. There are six inventoried trees on the subject property: three sitka spruce and three red alders. Additionally, unusual conditions such as multiple stems, observable decay and damage were noted. Any tree that was worthy of preservation was also noted. Along with their field inventory, Buena Vista Arbor Care provided detailed recommendations for tree maintenance and protection. These recommendations are outlined on the preliminary master plan.

[LCMC 17.77.120.H] *Consideration of Preliminary Master Plan. Preliminary master plans shall be processed as a Type III procedure as set forth in LCMC 17.76.050. The planning commission's consideration of the preliminary master plan shall be subject to the following:*

[LCMC 17.77.120.H.1] *The planning commission shall approve, or approve with conditions, the plan if it finds that the plan, either as submitted or with conditions, meets all of the following criteria. The planning commission shall disapprove the plan if it finds that the plan, either as submitted or with conditions, does not meet any one or more of the following criteria:*

[LCMC 17.77.120.H.1.a] *The proposed planned development will be substantially compatible with existing development in the surrounding area; and undeveloped land in the surrounding area can be developed in a manner substantially compatible with the proposed planned development.*

Substantially compatible with existing development does not require proposed development to be identical to existing nearby structures and uses. Instead, compatibility is a development's capacity to exist in harmony with surrounding uses. An analysis of compatibility identifies the existing uses, describes the proposed use, assesses the type and extent of impacts created by the proposed use, and estimates the effects of those impacts.

Existing: North, south, and west of Lincoln Palisades Phase VI surrounding existing uses are residential in nature. To the east, Lincoln City owned land remains undeveloped for the preservation of natural features. Lincoln Palisades (60 lots platted in 1996), Lincoln Palisades Phase 2 (34 lots platted in 2007), Lincoln Palisades Phase 3 (12 lots platted in 2018), Lincoln Palisades Phase 4 (11 lots platted in 2019), and Lincoln Palisades Phase V (18 lots currently under construction) are five subdivisions in the immediate area.

Palisades Condominiums consists of 50 units built in 1981 on 5.91 acres. The floor area of each unit is 945 SF. The density is 8.5 DU/Ac. There are five buildings with 8 units and one building with 10 units. All buildings are two-story with separate ground floor and second floor units. Buildings are oriented around a central parking area. The grounds are landscaped close to the buildings and naturally vegetated around the perimeter.

Proposed Uses: The character of the proposed PUD is residential in nature, being comprised solely of single-family dwellings. No other uses are proposed. The operating characteristics of the proposed PUD would be no different than those for the existing neighborhood in terms of light, sounds, and vehicle movement. The effect of additional traffic is summarized previously in this application narrative, those findings and conclusions being incorporated herein by reference.

The foregoing description and analysis finds no material difference between existing and proposed uses in terms of size, scale, and operating characteristics. Therefore, the proposed PUD is substantially compatible with the surrounding area as required by this criterion.

[LCMC 17.77.120.H.1.b] *Construction of the planned development can be accomplished in a manner that does not create unreasonable negative impacts on the area surrounding the development or in the city. In order to assure the avoidance or mitigation of negative construction impacts on the area surrounding the development or in the city, the planning commission may impose conditions including but not limited to:*

- i. Requirements that removal of existing landscaping during construction be limited to areas of the planned development to be constructed shortly following removal and to portions of those areas on which construction will occur;*
- ii. Prohibitions of open burning on the site during construction;*
- iii. Prohibitions or limitations on construction track-out;*
- iv. Restrictions on construction noise; and*
- v. Restrictions on construction traffic.*

Short-term construction impacts are typically associated with clearing of land, movement of vehicles, storage of materials, and operation of equipment. Municipal ordinances adopted by the City safeguard the public welfare against these and other factors. Those protections include the following:

- LCMC 8.08.020 Outdoor burning of construction waste is prohibited.
- LCMC 8.12.040 Authorized construction projects must apply reasonable safeguards to avoid creating attractive nuisances.
- LCMC 9.10.030 Sound that exceeds 50 dBA as measured at the property boundary is prohibited between 7:00 p.m. and 7:00 a.m.
- LCMC 9.10.040 Construction activities are exempt from sound limitations between 7:00 a.m. and 7:00 p.m.

## Lincoln Palisades Phase VI

- LCMC Chapter 12.08 Contractor must install and maintain City-approved erosion control measures.
- LCMC 12.12.090 All work undertaken, including but not limited to excavation, backfilling, surface restoration, protection of utilities, traffic control, safety precautions, noise and dust control and cleanup, shall be approved by the city.

These local ordinances regulate many activities associated with construction. No additional construction activities have been identified that would warrant mitigation. Therefore, no additional restrictions are proposed.

[LCMC 17.77.120.H.1.c] *The development will not create unreasonable negative impacts on the area surrounding the development or in the city. In order to assure the avoidance or mitigation of negative impacts, the review authority may require the filing of restrictions in the county deed records including but not limited to restrictions:*

- i. *Prohibiting the removal of specified landscaping; and*
- ii. *Prohibiting open burning during construction.*

Appropriate Use of Property: The subject property is zoned for residential development. The proposed preliminary master plan would be the first step in development of the subject property for uses intended by the Code.

Vegetation Removal: Constructing buildings, streets, and utilities, will require the removal of some brush and trees that directly conflict with these improvements. However, every effort has been made in the design of the site improvements to retain significant natural vegetation including large trees that are compatible with development. Additional brush and undergrowth may be removed for safety and security purposes. The City Engineer is responsible for reviewing plans for tree removal and preservation of remaining trees. Details of those plans are presented earlier in this narrative under review criterion LCMC 17.77.120(G)(13). Those findings and conclusions are incorporated herein by reference.

As noted in the preceding subsection, outdoor burning of construction waste is prohibited (LCMC 8.08.020). Approved landscaping planted in accordance with the preliminary master plan would not be removed in subsequent phases, Therefore, the proposed PUD would not create unreasonable negative impacts on the surrounding area.

[LCMC 17.77.120.H.1.d] *Street, water, sewer, drainage and drainage pretreatment, storm water detention, and other similar facilities in the area surrounding the development and in the city are or will be adequate to provide for the health, safety and welfare for the development's population densities and the type of development proposed, taking into consideration existing and projected future demands on those facilities.*

Streets in Lincoln Palisades Phase VI are designed to comply with city standards and to accommodate anticipated traffic loads. Off-site traffic impacts are summarized earlier in this application narrative, which are incorporated herein by reference.

The municipal water supply that would serve the proposed planned development is stored in a reservoir on Port Lane, a short distance from the subject property.

Transmission lines are of sufficient capacity to serve the planned needs of the proposed planned development and the surrounding area.

The proposed planned development is situated in sewer basin 4007.

The proposed planned development would be developed in a manner designed to minimize the impact of the downstream area as well as the environment within the development. Water quality features would be designed as necessary to regulate any increased runoff caused by the development and to help minimize the impact of sediments on runoff facilities.

*[LCMC 17.77.120.H.1.e] Street, water, sewer, drainage and drainage pretreatment, storm water detention and other similar facilities proposed to be constructed as part of the development are adequate to provide for the health, safety and welfare for the population densities and the type of development proposed.*

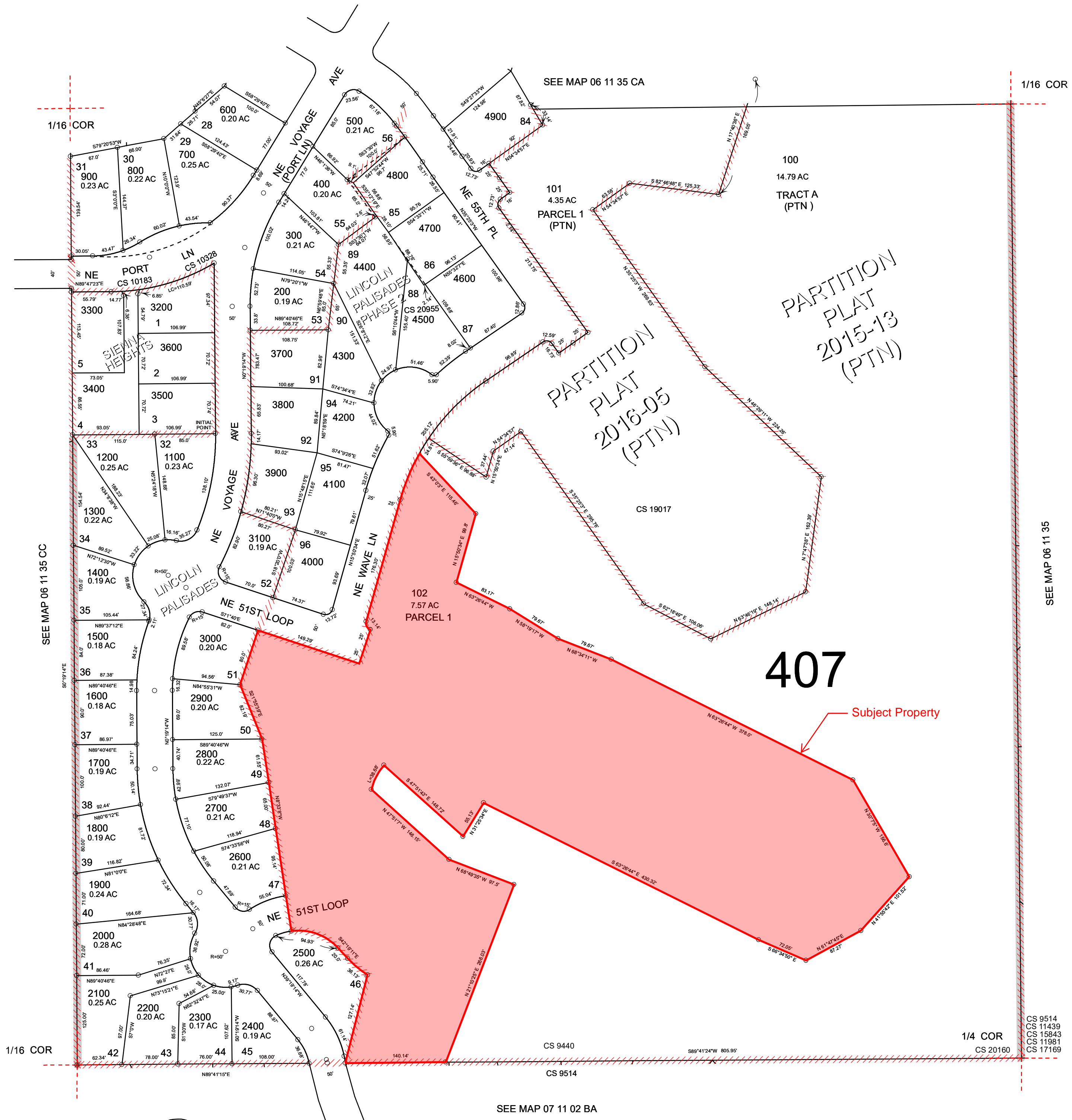
The City of Lincoln City has adopted and maintained standards for streets, water systems, sanitary sewer systems, stormwater drainage systems, and stormwater pretreatment to protect the health, safety, and welfare of its citizens. The design and construction of these facilities in Lincoln Palisades Phase VI as shown on the utilities plan would conform to those standards.

*[LCMC 17.77.120.H.1.f] The proposed number of residential units does not exceed the maximum permitted number of residential units, and at least 15 percent of the gross area is dedicated to landscaping. For purposes of computing area dedicated to landscaping, dedicated open space and protected resource areas may be treated as area dedicated to landscaping, but parking areas may not.*

As determined by LCMC 17.77.120.B, the maximum number of residential units is 36. Lincoln Palisades Phase VI will create 36 lots intended for detached, single-family homes. Additionally, 15% of the gross area has been dedicated to landscaping. Please refer to the preliminary master plan for conformance with this standard.

## VII. Conclusion

This application narrative and accompanying plan set demonstrate that all applicable provisions of the City of Lincoln City Municipal Code are satisfied.



SEE MAP 06 11 35

407

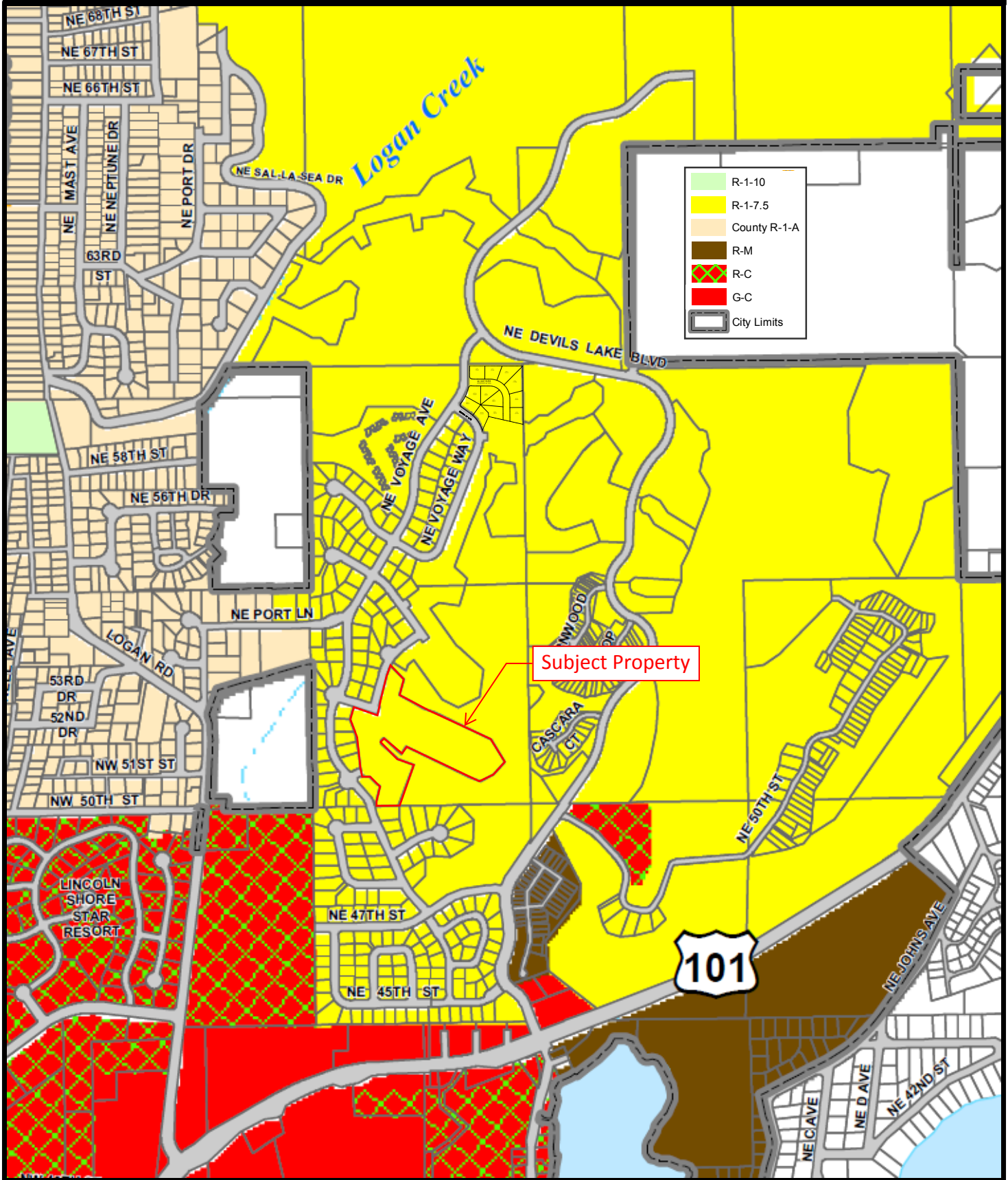
Subject Property

CS 9514  
CS 11439  
CS 15843  
CS 11981  
CS 17169

Revised: SAO  
04/06/2020



# Lincoln City Zoning



# PARTITION PLAT 2015-

A REPLAT OF TRACT A OF "LINCOLN PALISADES PHASE 2",  
LOCATED IN THE SOUTHWEST 1/4 OF SECTION 35,  
TOWNSHIP 6 SOUTH, RANGE 11 WEST OF THE  
WILLAMETTE MERIDIAN, CITY OF LINCOLN CITY,  
LINCOLN COUNTY, OREGON

FOR: ALPHA BUILDING VENTURES, LLC.

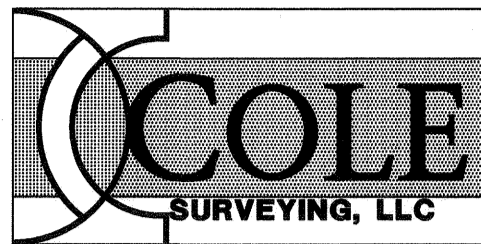
DATE: OCTOBER 6, 2015

SHEET 1 OF 6

REGISTERED  
PROFESSIONAL  
LAND SURVEYOR

*Brian Scott Sailor*  
OREGON  
JANUARY 11, 2005  
BRIAN SCOTT SAILOR  
61341

EXPIRES 6/30/16



BRIAN SCOTT SAILOR, P.L.S.  
COLE SURVEYING, LLC  
P.O. BOX 1211  
CORVALLIS, OREGON 97339  
(541) 929-5500

I, BRIAN SCOTT SAILOR, HEREBY CERTIFY  
THAT THIS IS AN EXACT COPY OF  
THE ORIGINAL PARTITION PLAT.

- ④ WE ORIGINALLY FOUND A 1" BERNSTEIN G-1 PISTON MONUMENT BENT AND MISSING THE BRASS CAP AT THE CENTER OF SECTION 35. THIS MONUMENT WAS STRAIGHTENED AND RE-SET WITHOUT THE BRASS CAP AS PER
- ⑤ THE PLAT OF "ROCK CREEK VILLAGE". WE HELD THE MONUMENT AS RE-SET FOR "ROCK CREEK VILLAGE".

### SURVEYOR'S NARRATIVE:

#### PURPOSE

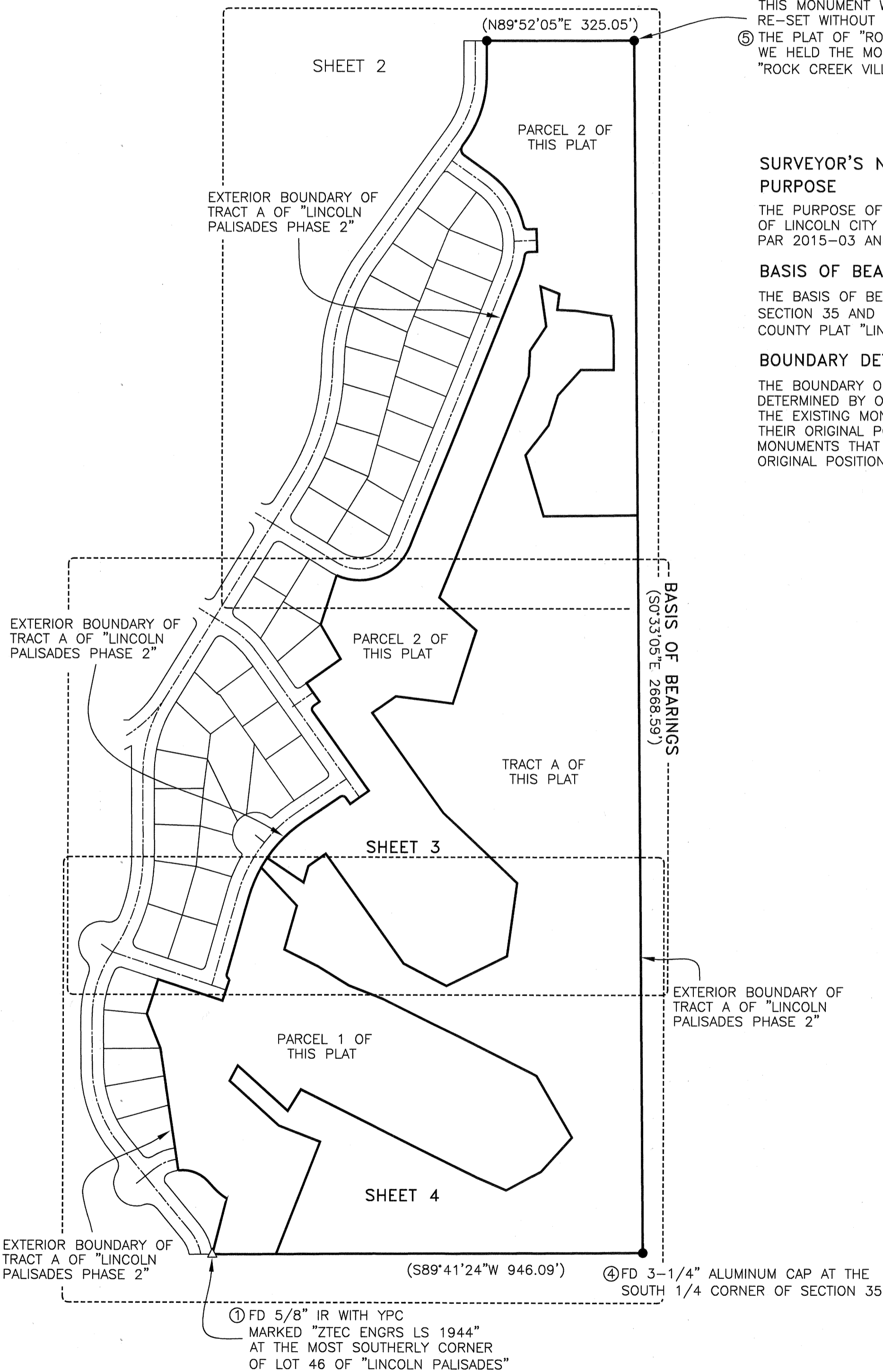
THE PURPOSE OF THIS PARTITION PLAT IS TO MEET THE REQUIREMENTS OF THE CITY OF LINCOLN CITY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT FILE NUMBER PAR 2015-03 AND LINCOLN CITY PLANNING COMMISSION FINAL ORDER 94-07.

#### BASIS OF BEARINGS

THE BASIS OF BEARINGS IS THE LINE BETWEEN THE CENTER 1/4 CORNER OF SECTION 35 AND THE SOUTH 1/4 CORNER OF SECTION 35 AS PER LINCOLN COUNTY PLAT "LINCOLN PALISADES PHASE 2".

#### BOUNDARY DETERMINATION

THE BOUNDARY OF TRACT A OF "LINCOLN PALISADES PHASE 2" WAS PREVIOUSLY DETERMINED BY OUR OFFICE. OUR ORIGINAL CONTROL HAS BEEN RECOVERED AND THE EXISTING MONUMENTS SHOWN AS BEING FOUND HAVE BEEN TIED AND ARE IN THEIR ORIGINAL POSITION, UNLESS OTHERWISE NOTED AND RE-ESTABLISHED. MONUMENTS THAT WERE FOUND TO BE MISSING HAVE BEEN RESET IN THEIR ORIGINAL POSITION.



SCALE: 1" = 200'

### LEGEND

- SET 5/8" x 30" IRON ROD WITH YELLOW PLASTIC CAP MARKED "COLE SURV. LS 61341"
- FOUND 5/8" IRON ROD WITH ORANGE PLASTIC CAP MARKED "COLE SURV LS 51523", PER C.S. 19017
- FOUND 5/8" IRON ROD WITH ORANGE PLASTIC CAP MARKED "COLE SURV LS 51523" AS PER PLAT OF "LINCOLN PALISADES PHASE 2" OR LINCOLN COUNTY REESTABLISHMENT AFFIDAVIT 2009-03436, UNLESS OTHERWISE NOTED
- △ FOUND 5/8" IRON ROD WITH YPC MARKED "ZTEC ENGRS LS 1944" AS PER PLAT OF "LINCOLN PALISADES"
- IR IRON ROD
- FD FOUND
- PUE PUBLIC UTILITY EASEMENT FOR FRANCHISE UTILITIES AND CITY OF LINCOLN CITY UTILITIES
- YPC YELLOW PLASTIC CAP
- R/W RIGHT OF WAY
- C.S. LINCOLN COUNTY SURVEY
- < > RECORD INFORMATION PER C.S. 19017
- ( ) MEASURED INFORMATION IS THE SAME AS RECORD INFORMATION AS PER THE PLAT OF "LINCOLN PALISADES PHASE 2", UNLESS OTHERWISE NOTED
- ① PLAT OF "LINCOLN PALISADES"
- ④ C.S. 9292
- ⑤ PLAT OF "ROCK CREEK VILLAGE"

### SHEET INDEX

- SHEET 1 - SURVEY OVERVIEW WITH SHEET INDEX, SURVEYOR'S NARRATIVE
- SHEET 2 - NORTHERN PORTION OF BOUNDARY
- SHEET 3 - MIDDLE PORTION OF BOUNDARY
- SHEET 4 - SOUTHERN PORTION OF BOUNDARY
- SHEET 5 - EXISTING SANITARY SEWER EASEMENTS OTHER DOCUMENTS OF RECORD
- SHEET 6 - SURVEYOR'S CERTIFICATE, OWNER'S DECLARATION, NOTARY ACKNOWLEDGEMENT, APPROVAL SIGNATURES AND RECORDING INFORMATION

Book 2015 Page 15A

# PARTITION PLAT 2015-

A REPLAT OF TRACT A OF "LINCOLN PALISADES PHASE 2",  
LOCATED IN THE SOUTHWEST 1/4 OF SECTION 35,  
TOWNSHIP 6 SOUTH, RANGE 11 WEST OF THE  
WILLAMETTE MERIDIAN, CITY OF LINCOLN CITY,  
LINCOLN COUNTY, OREGON

FOR: ALPHA BUILDING VENTURES, LLC.

DATE: OCTOBER 6, 2015

SHEET 2 OF 6

### LEGEND

- SET 5/8" x 30" IRON ROD WITH YELLOW PLASTIC CAP MARKED "COLE SURV. LS 61341"
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- △ FOUND 5/8" IRON ROD WITH YPC MARKED "ZTEC ENGRS LS 1944" AS PER PLAT OF "LINCOLN PALISADES"
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- ( ) MEASURED INFORMATION IS THE SAME AS RECORD INFORMATION AS PER THE PLAT OF "LINCOLN PALISADES PHASE 2", UNLESS OTHERWISE NOTED
- ① PLAT OF "LINCOLN PALISADES"
- ④ C.S. 9292
- ⑤ PLAT OF "ROCK CREEK VILLAGE"

SCALE: 1" = 60'



(N89°52'05"E 325.05') INITIAL POINT

- ④ WE ORIGINALLY FOUND A 1" BERNSTEIN G-1 PISTON MONUMENT BENT AND MISSING THE BRASS CAP AT THE CENTER OF SECTION 35. THIS MONUMENT WAS STRAIGHTENED AND RE-SET WITHOUT THE BRASS CAP AS PER
- ⑤ THE PLAT OF "ROCK CREEK VILLAGE". WE HELD THE MONUMENT AS RE-SET FOR "ROCK CREEK VILLAGE".

PARCEL 2  
AREA=12.56 ACRES

C#	Radius	Delta	Length	Bearing	Chord
(C1)	245.00'	35°30'13"	151.81'	N 17°37'12" E	149.40'
(C2)	15.00'	89°49'16"	23.52'	N 9°32'20" W	21.18'
(C3)	190.00'	42°32'01"	141.05'	N 33°10'57" W	137.83'
(C4)	9.00'	80°09'45"	12.59'	N 51°59'49" W	11.59'
(C5)	9.00'	80°09'45"	12.59'	N 47°50'26" E	11.59'
(C6)	190.00'	14°01'56"	46.53'	N 14°46'31" E	46.42'
(C7)	175.00'	15°23'18"	47.00'	N 8°14'41" W	46.86'
(C8)	120.00'	92°46'28"	194.31'	N 68°10'43" E	173.76'

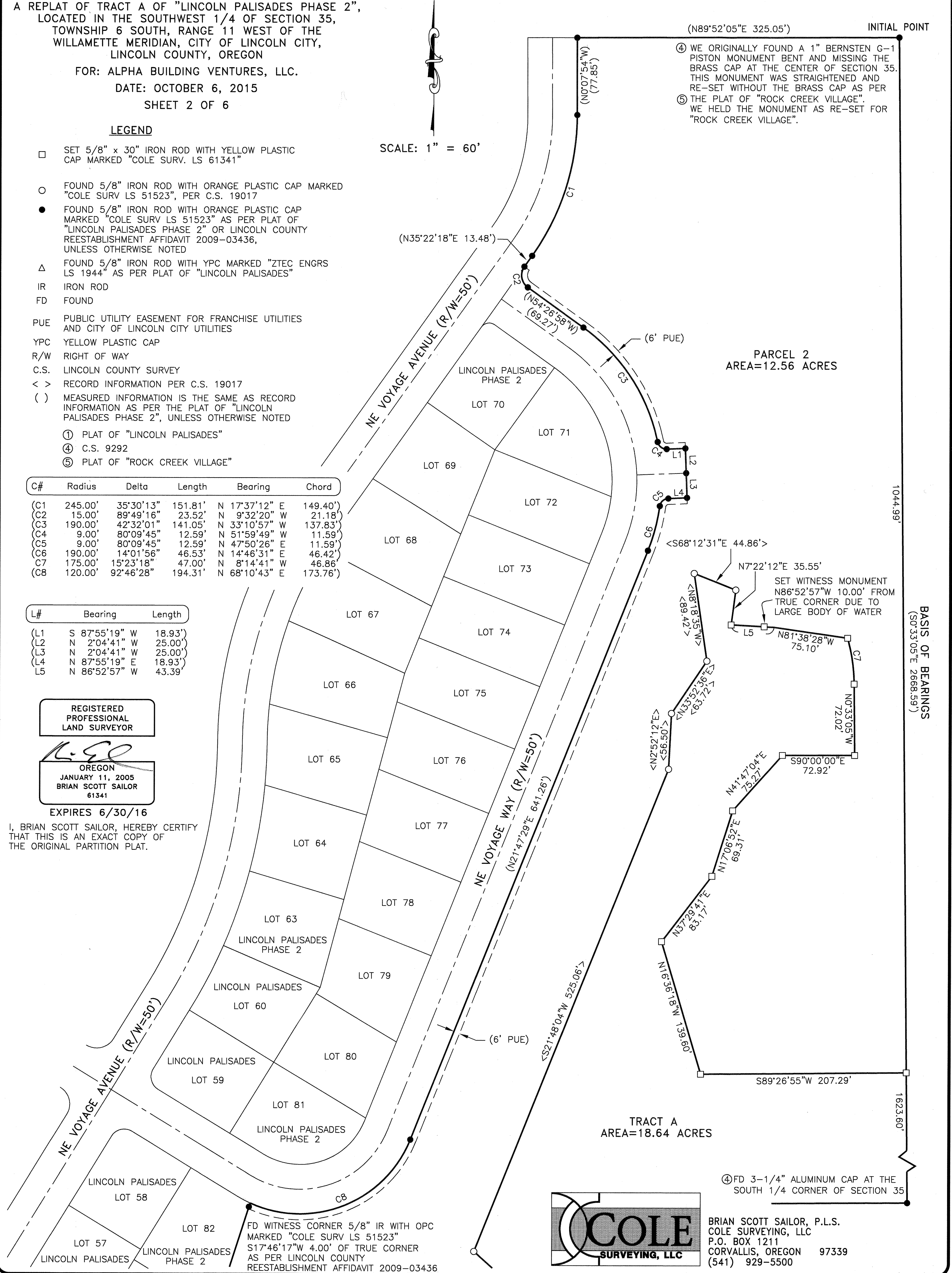
L#	Bearing	Length
(L1)	S 87°55'19" W	18.93'
(L2)	N 2°04'41" W	25.00'
(L3)	N 2°04'41" W	25.00'
(L4)	N 87°55'19" E	18.93'
(L5)	N 86°52'57" W	43.39'

REGISTERED  
PROFESSIONAL  
LAND SURVEYOR

*Brian Scott Sailor*  
OREGON  
JANUARY 11, 2005  
BRIAN SCOTT SAILOR  
61341

EXPIRES 6/30/16

I, BRIAN SCOTT SAILOR, HEREBY CERTIFY  
THAT THIS IS AN EXACT COPY OF  
THE ORIGINAL PARTITION PLAT.

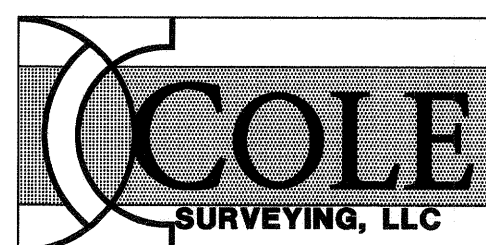


BASIS OF BEARINGS  
(S03°3'05"E 2668.59')

TRACT A  
AREA=18.64 ACRES

④ FD 3-1/4" ALUMINUM CAP AT THE  
SOUTH 1/4 CORNER OF SECTION 35

FD WITNESS CORNER 5/8" IR WITH OPC  
MARKED "COLE SURV LS 51523"  
S17°46'17"W 4.00' OF TRUE CORNER  
AS PER LINCOLN COUNTY  
REESTABLISHMENT AFFIDAVIT 2009-03436



BRIAN SCOTT SAILOR, P.L.S.  
COLE SURVEYING, LLC  
P.O. BOX 1211  
CORVALLIS, OREGON 97339  
(541) 929-5500

Book 2015 Page 13B

### PARTITION PLAT 2015-

A REPLAT OF TRACT A OF "LINCOLN PALISADES PHASE 2",  
 LOCATED IN THE SOUTHWEST 1/4 OF SECTION 35,  
 TOWNSHIP 6 SOUTH, RANGE 11 WEST OF THE  
 WILLAMETTE MERIDIAN, CITY OF LINCOLN CITY,  
 LINCOLN COUNTY, OREGON

FOR: ALPHA BUILDING VENTURES, LLC.

DATE: OCTOBER 6, 2015

SHEET 3 OF 6

#### LEGEND

- SET 5/8" x 30" IRON ROD WITH YELLOW PLASTIC CAP MARKED "COLE SURV. LS 61341"
- FOUND 5/8" IRON ROD WITH ORANGE PLASTIC CAP MARKED "COLE SURV LS 51523", PER C.S. 19017
- FOUND 5/8" IRON ROD WITH ORANGE PLASTIC CAP MARKED "COLE SURV LS 51523" AS PER PLAT OF "LINCOLN PALISADES PHASE 2" OR LINCOLN COUNTY REESTABLISHMENT AFFIDAVIT 2009-03436, UNLESS OTHERWISE NOTED
- △ FOUND 5/8" IRON ROD WITH YPC MARKED "ZTEC ENGRS LS 1944" AS PER PLAT OF "LINCOLN PALISADES"
- IR IRON ROD
- FD FOUND
- PUE PUBLIC UTILITY EASEMENT FOR FRANCHISE UTILITIES AND CITY OF LINCOLN CITY UTILITIES
- YPC YELLOW PLASTIC CAP
- R/W RIGHT OF WAY
- C.S. LINCOLN COUNTY SURVEY
- < > RECORD INFORMATION PER C.S. 19017
- ( ) MEASURED INFORMATION IS THE SAME AS RECORD INFORMATION AS PER THE PLAT OF "LINCOLN PALISADES PHASE 2", UNLESS OTHERWISE NOTED
- ① PLAT OF "LINCOLN PALISADES"
- ④ C.S. 9292
- ⑤ PLAT OF "ROCK CREEK VILLAGE"

REGISTERED  
 PROFESSIONAL  
 LAND SURVEYOR

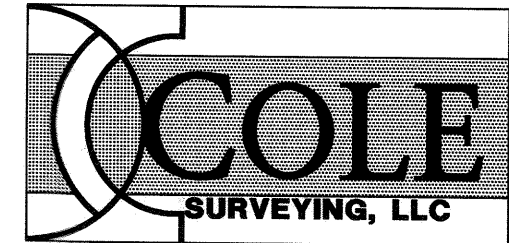
*B.S.*

OREGON  
 JANUARY 11, 2005  
 BRIAN SCOTT SAILOR  
 61341

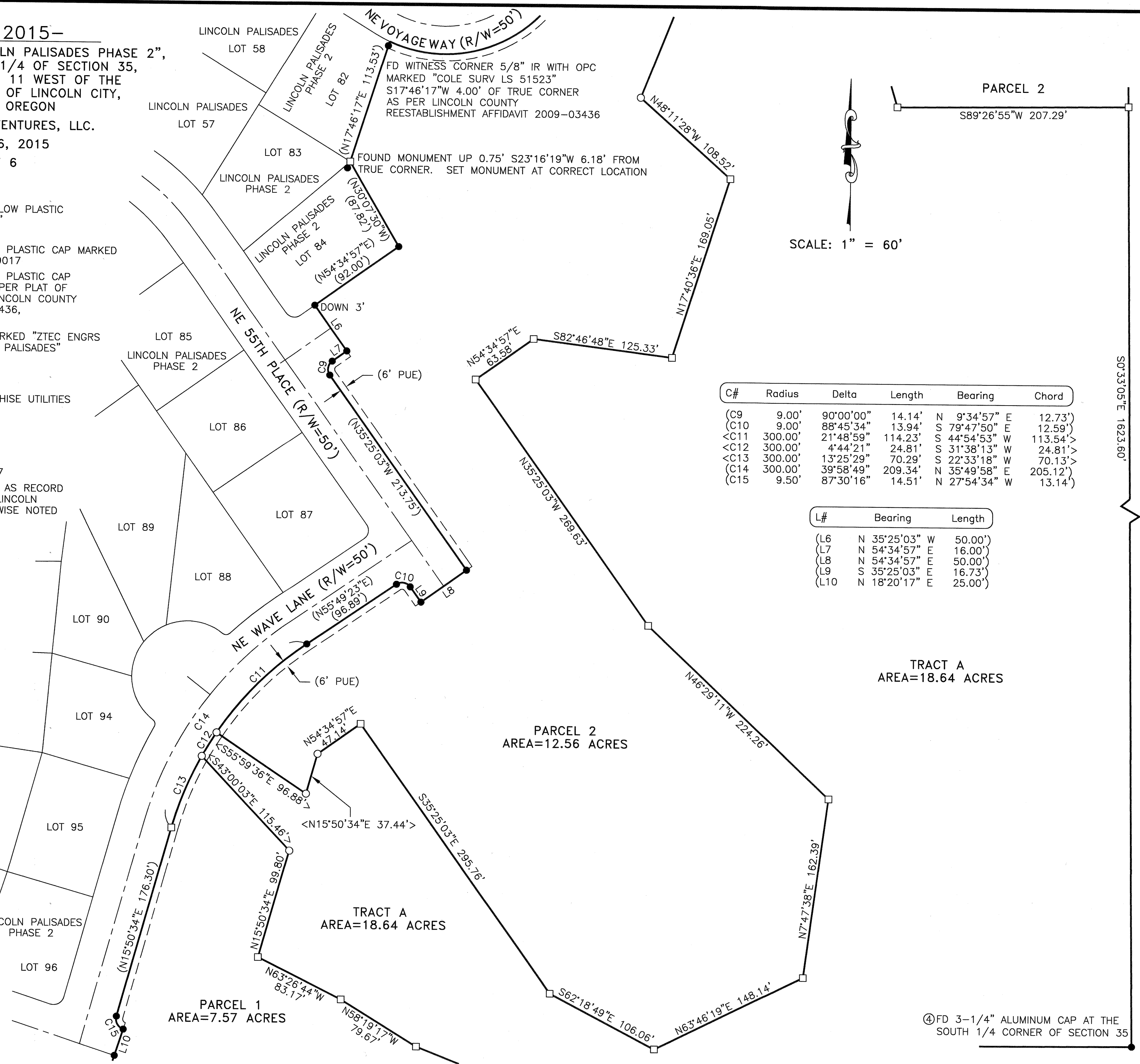
EXPIRES 6/30/16

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 COLE SURVEYING, LLC  
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 (541) 929-5500

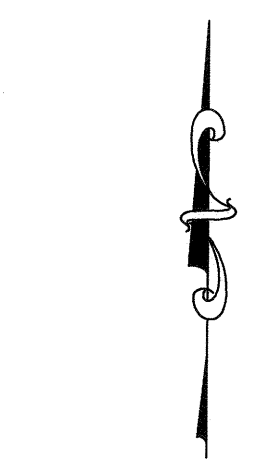


15873PART



FD WITNESS CORNER 5/8" IR WITH OPC  
 MARKED "COLE SURV LS 51523"  
 S17°46'17"W 4.00' OF TRUE CORNER  
 AS PER LINCOLN COUNTY  
 REESTABLISHMENT AFFIDAVIT 2009-03436

FOUND MONUMENT UP 0.75' S23°16'19"W 6.18' FROM  
 TRUE CORNER. SET MONUMENT AT CORRECT LOCATION



SCALE: 1" = 60'

C#	Radius	Delta	Length	Bearing	Chord
(C9)	9.00'	90°00'00"	14.14'	N 9°34'57" E	12.73'
(C10)	9.00'	88°45'34"	13.94'	S 79°47'50" E	12.59'
<C11	300.00'	21°48'59"	114.23'	S 44°54'53" W	113.54'>
<C12	300.00'	4°44'21"	24.81'	S 31°38'13" W	24.81'>
<C13	300.00'	13°25'29"	70.29'	S 22°33'18" W	70.13'>
(C14)	300.00'	39°58'49"	209.34'	N 35°49'58" E	205.12'
(C15)	9.50'	87°30'16"	14.51'	N 27°54'34" W	13.14'

L#	Bearing	Length
(L6)	N 35°25'03" W	50.00'
(L7)	N 54°34'57" E	16.00'
(L8)	N 54°34'57" E	50.00'
(L9)	S 35°25'03" E	16.73'
(L10)	N 18°20'17" E	25.00'

④ FD 3-1/4" ALUMINUM CAP AT THE  
 SOUTH 1/4 CORNER OF SECTION 35

15879PART

**PARTITION PLAT 2015-**

A REPLAT OF TRACT A OF "LINCOLN PALISADES PHASE 2",  
 LOCATED IN THE SOUTHWEST 1/4 OF SECTION 35,  
 TOWNSHIP 6 SOUTH, RANGE 11 WEST OF THE  
 WILLAMETTE MERIDIAN, CITY OF LINCOLN CITY,  
 LINCOLN COUNTY, OREGON

FOR: ALPHA BUILDING VENTURES, LLC.

DATE: OCTOBER 6, 2015

SHEET 4 OF 6

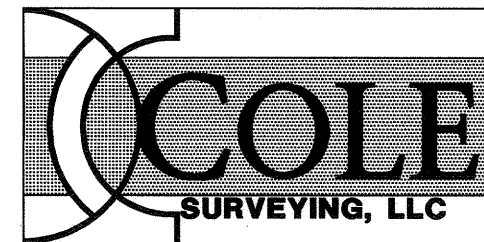
REGISTERED  
 PROFESSIONAL  
 LAND SURVEYOR

*R. S.*  
 OREGON  
 JANUARY 11, 2005  
 BRIAN SCOTT SAILOR  
 61341

EXPIRES 6/30/16

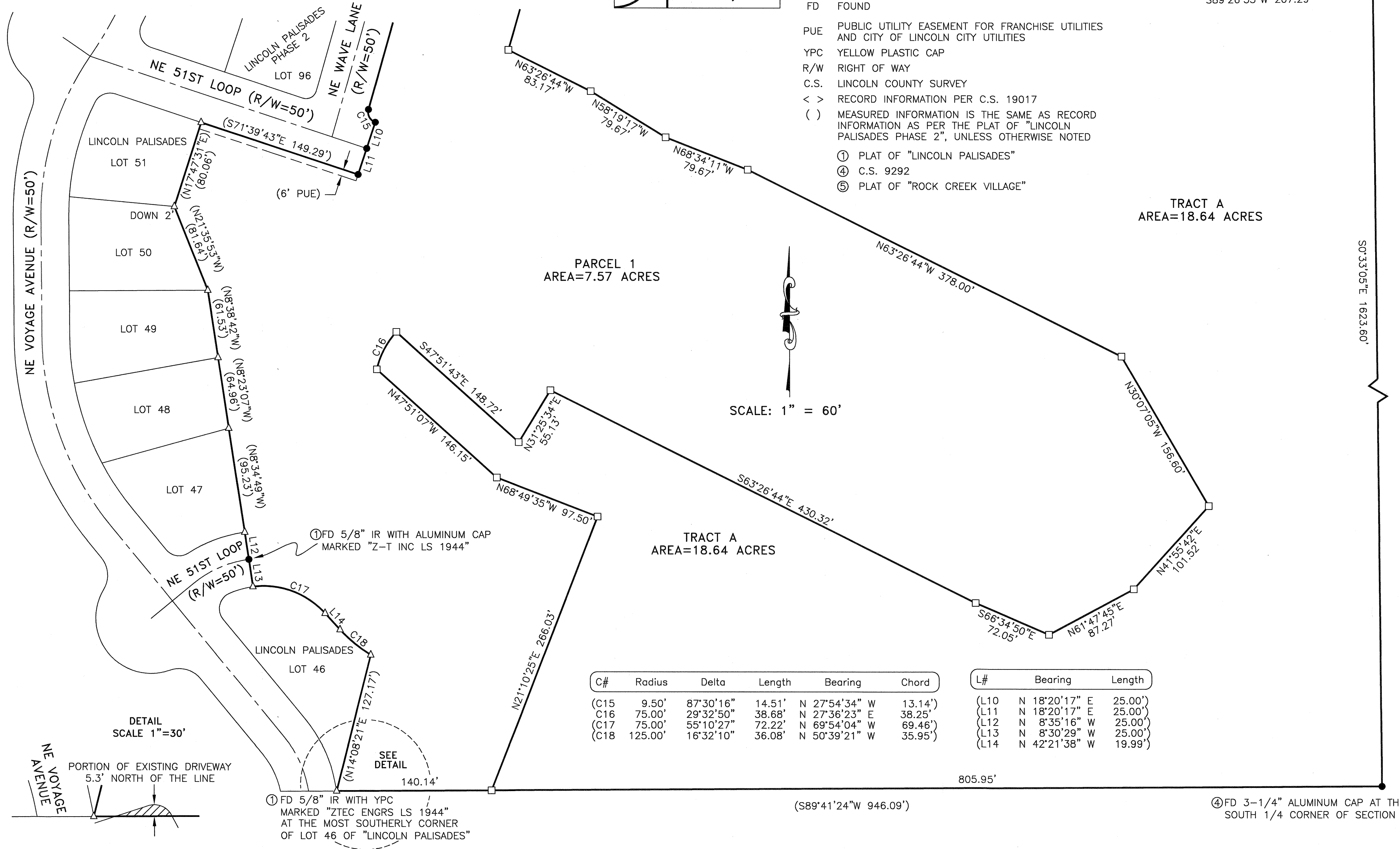
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BRIAN SCOTT SAILOR, P.L.S.  
 COLE SURVEYING, LLC  
 P.O. BOX 1211  
 CORVALLIS, OREGON 97339  
 (541) 929-5500



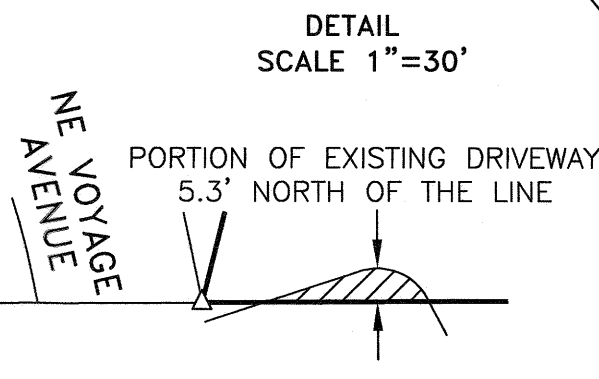
**LEGEND**

- SET 5/8" x 30" IRON ROD WITH YELLOW PLASTIC CAP MARKED "COLE SURV. LS 61341"
- FOUND 5/8" IRON ROD WITH ORANGE PLASTIC CAP MARKED "COLE SURV LS 51523", PER C.S. 19017
- FOUND 5/8" IRON ROD WITH ORANGE PLASTIC CAP MARKED "COLE SURV LS 51523" AS PER PLAT OF "LINCOLN PALISADES PHASE 2" OR LINCOLN COUNTY REESTABLISHMENT AFFIDAVIT 2009-03436, UNLESS OTHERWISE NOTED
- △ FOUND 5/8" IRON ROD WITH YPC MARKED "ZTEC ENGRS LS 1944" AS PER PLAT OF "LINCOLN PALISADES"
- IR IRON ROD
- FD FOUND
- PUE PUBLIC UTILITY EASEMENT FOR FRANCHISE UTILITIES AND CITY OF LINCOLN CITY UTILITIES
- YPC YELLOW PLASTIC CAP
- R/W RIGHT OF WAY
- C.S. LINCOLN COUNTY SURVEY
- < > RECORD INFORMATION PER C.S. 19017
- ( ) MEASURED INFORMATION IS THE SAME AS RECORD INFORMATION AS PER THE PLAT OF "LINCOLN PALISADES PHASE 2", UNLESS OTHERWISE NOTED
- ① PLAT OF "LINCOLN PALISADES"
- ④ C.S. 9292
- ⑤ PLAT OF "ROCK CREEK VILLAGE"



C#	Radius	Delta	Length	Bearing	Chord
(C15)	9.50'	87°30'16"	14.51'	N 27°54'34" W	13.14'
(C16)	75.00'	29°32'50"	38.68'	N 27°36'23" E	38.25'
(C17)	75.00'	55°10'27"	72.22'	N 69°54'04" W	69.46'
(C18)	125.00'	16°32'10"	36.08'	N 50°39'21" W	35.95'

L#	Bearing	Length
(L10)	N 18°20'17" E	25.00'
(L11)	N 18°20'17" E	25.00'
(L12)	N 8°35'16" W	25.00'
(L13)	N 8°30'29" W	25.00'
(L14)	N 42°21'38" W	19.99'



### PARTITION PLAT 2015-

A REPLAT OF TRACT A OF "LINCOLN PALISADES PHASE 2",  
LOCATED IN THE SOUTHWEST 1/4 OF SECTION 35,  
TOWNSHIP 6 SOUTH, RANGE 11 WEST OF THE  
WILLAMETTE MERIDIAN, CITY OF LINCOLN CITY,  
LINCOLN COUNTY, OREGON

FOR: ALPHA BUILDING VENTURES, LLC.

DATE: OCTOBER 6, 2015

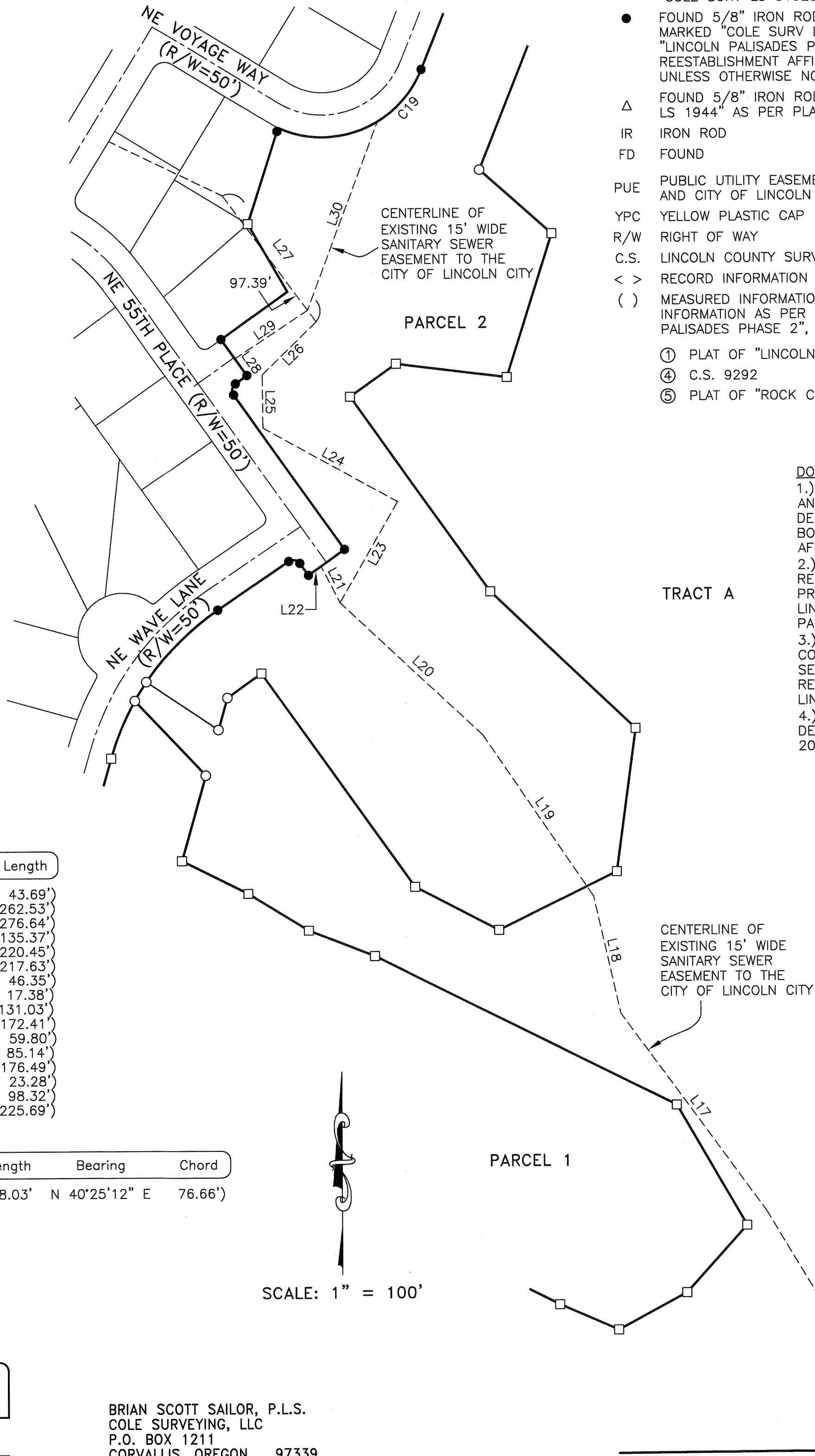
SHEET 5 OF 6

#### LEGEND

- SET 5/8" x 30" IRON ROD WITH YELLOW PLASTIC CAP MARKED "COLE SURV. LS 61341"
- FOUND 5/8" IRON ROD WITH ORANGE PLASTIC CAP MARKED "COLE SURV LS 51523", PER C.S. 19017
- FOUND 5/8" IRON ROD WITH ORANGE PLASTIC CAP MARKED "COLE SURV LS 51523" AS PER PLAT OF "LINCOLN PALISADES PHASE 2" OR LINCOLN COUNTY REESTABLISHMENT AFFIDAVIT 2009-03436, UNLESS OTHERWISE NOTED
- △ FOUND 5/8" IRON ROD WITH YPC MARKED "ZTEC ENGRS LS 1944" AS PER PLAT OF "LINCOLN PALISADES"
- IR IRON ROD
- FD FOUND
- PUE PUBLIC UTILITY EASEMENT FOR FRANCHISE UTILITIES AND CITY OF LINCOLN CITY UTILITIES
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- ① PLAT OF "LINCOLN PALISADES"
- ④ C.S. 9292
- ⑤ PLAT OF "ROCK CREEK VILLAGE"

#### DOCUMENTS OF RECORD:

- 1.) THERE ARE EXISTING PACIFIC POWER AND LIGHT EASEMENTS PER LINCOLN COUNTY DEED RECORD BOOK 131, PAGE 43 AND BOOK 343, PAGE 1773 THAT DO NOT AFFECT THE PROPERTY.
- 2.) PROPERTY IS SUBJECT TO THE DEED RESTRICTION, INCLUDING THE TERMS AND PROVISIONS THEREOF, SET FORTH IN LINCOLN COUNTY DEED RECORD BOOK 314, PAGE 588.
- 3.) PROPERTY IS SUBJECT TO THE COVENANTS, EASEMENTS AND RESTRICTIONS SET FORTH IN LINCOLN COUNTY DEED RECORD BOOK 348, PAGE 1921 AND LINCOLN COUNTY DEED RECORD 200811946.
- 4.) PROPERTY IS SUBJECT TO A TRUST DEED PER LINCOLN COUNTY DEED RECORD 200514674.



L#	Bearing	Length
(L15	N 0°33'05" W	43.69'
(L16	N 30°39'52" W	262.53'
(L17	N 36°10'41" W	276.64'
(L18	N 12°48'15" W	135.37'
(L19	N 34°09'57" W	220.45'
(L20	N 46°53'57" W	217.63'
(L21	N 27°17'15" W	46.35'
(L22	N 54°34'57" E	17.38'
(L23	N 29°53'29" E	131.03'
(L24	N 61°04'17" W	172.41'
(L25	N 0°40'14" W	59.80'
(L26	N 45°45'41" E	85.14'
(L27	N 36°25'42" W	176.49'
(L28	N 35°25'03" W	23.28'
(L29	S 56°31'22" W	98.32'
(L30	S 20°40'07" W	225.69'

C#	Radius	Delta	Length	Bearing	Chord
(C19	120.00'	37°15'25"	78.03'	N 40°25'12" E	76.66'

SCALE: 1" = 100'

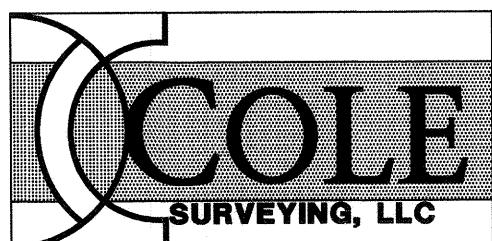
REGISTERED PROFESSIONAL LAND SURVEYOR

*Brian Scott Sailor*  
OREGON  
JANUARY 11, 2005  
BRIAN SCOTT SAILOR  
61341

EXPIRES 6/30/16

I, BRIAN SCOTT SAILOR, HEREBY CERTIFY THAT THIS IS AN EXACT COPY OF THE ORIGINAL PARTITION PLAT.

BRIAN SCOTT SAILOR, P.L.S.  
COLE SURVEYING, LLC  
P.O. BOX 1211  
CORVALLIS, OREGON 97339  
(541) 929-5500



④ FD 3-1/4" ALUMINUM CAP AT THE SOUTH 1/4 CORNER OF SECTION 35

Book 2015 Page 13E

PARTITION PLAT 2015-

A REPLAT OF TRACT A OF "LINCOLN PALISADES PHASE 2", LOCATED IN THE SOUTHWEST 1/4 OF SECTION 35, TOWNSHIP 6 SOUTH, RANGE 11 WEST OF THE WILLAMETTE MERIDIAN, CITY OF LINCOLN CITY, LINCOLN COUNTY, OREGON

FOR: ALPHA BUILDING VENTURES, LLC.

DATE: OCTOBER 6, 2015

SHEET 6 OF 6

DECLARATION:

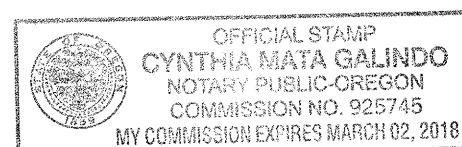
KNOW ALL PERSONS BY THESE PRESENTS, THAT PALISADES PROPERTIES, LLC., IS THE OWNER OF THE LAND SHOWN ON THE ATTACHED MAP AND MORE PARTICULARLY DESCRIBED IN THE SURVEYOR'S CERTIFICATE AND HAS CAUSED THE SAME TO BE SURVEYED AND PLATTED INTO PARCELS AND A TRACT AS SHOWN ON THE ATTACHED MAP. PALISADES PROPERTIES, LLC., DOES HEREBY DEDICATE TRACT A TO THE CITY OF LINCOLN CITY FOR OPEN SPACE.

[Signature of Stephen L. Lindell]

STEPHEN L. LINDELL, AS MANAGING MEMBER FOR PALISADES PROPERTIES, LLC.

ACKNOWLEDGMENT:

STATE OF OREGON } COUNTY OF Clackamas } SS



THIS IS TO CERTIFY THAT ON THIS 3 DAY OF December, 2015, BEFORE ME, A NOTARY PUBLIC FOR THE STATE OF OREGON, DID PERSONALLY APPEAR STEPHEN L. LINDELL, AND WHO EXECUTED THE FOREGOING INSTRUMENT AND DOES HEREBY ACKNOWLEDGE SAID INSTRUMENT TO BE OF HIS OWN FREE ACT AND DEED.

[Signature of Cynthia Galindo]

NOTARY PRINTED NAME Cynthia Galindo
NOTARY PUBLIC - OREGON
COMMISSION No. 925745
MY COMMISSION EXPIRES March 02, 2018

APPROVALS:

APPROVED [Signature] 12/7/15
LINCOLN CITY PLANNING AND COMMUNITY DEVELOPMENT DIRECTOR DATE

APPROVED [Signature] 12/24/15
LINCOLN COUNTY TAX COLLECTOR DATE

APPROVED [Signature] 12-29-15
LINCOLN COUNTY ASSESSOR DATE

APPROVED [Signature] 12/11/15
LINCOLN COUNTY SURVEYOR Deputy DATE

SURVEYOR'S CERTIFICATE:

I, BRIAN SCOTT SAILOR, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF OREGON, HEREBY CERTIFY THAT I HAVE CORRECTLY SURVEYED AND MARKED WITH PROPER MONUMENTS THE PARCELS AND TRACT SHOWN ON THE ATTACHED MAP, THE EXTERIOR BOUNDARY OF WHICH IS DESCRIBED AS FOLLOWS:

TRACT A OF "LINCOLN PALISADES PHASE 2", A SUBDIVISION PLAT OF RECORD LOCATED IN THE SOUTHWEST ONE-QUARTER OF SECTION 35 OF TOWNSHIP 6 SOUTH, RANGE 11 WEST OF THE WILLAMETTE MERIDIAN, CITY OF LINCOLN CITY, LINCOLN COUNTY, OREGON, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE INITIAL POINT, A 1 INCH IRON PIPE AT THE CENTER OF SECTION 35 OF TOWNSHIP 6 SOUTH, RANGE 11 WEST OF THE WILLAMETTE MERIDIAN, CITY OF LINCOLN CITY, LINCOLN COUNTY, OREGON, ALSO BEING THE NORTHEAST CORNER OF SAID TRACT A; THENCE ALONG THE EAST LINE OF SAID TRACT A SOUTH 0°33'05" EAST 2668.59 FEET TO A 3-1/4 INCH ALUMINUM CAP AT THE SOUTH 1/4 OF SAID SECTION 35, ALSO BEING THE SOUTHEAST CORNER OF SAID TRACT A; THENCE ALONG THE SOUTH LINE OF SAID TRACT A SOUTH 89°41'24" WEST 946.09 FEET TO A 5/8 INCH IRON ROD AT THE MOST SOUTHERLY CORNER OF LOT 46 OF "LINCOLN PALISADES", A SUBDIVISION PLAT OF RECORD LOCATED IN THE SOUTHWEST ONE-QUARTER OF SECTION 35 OF TOWNSHIP 6 SOUTH, RANGE 11 WEST OF THE WILLAMETTE MERIDIAN, CITY OF LINCOLN CITY, LINCOLN COUNTY, OREGON; THENCE ALONG THE EASTERLY LINE OF "LINCOLN PALISADES" THE FOLLOWING COURSES: NORTH 14°08'21" EAST 127.17 FEET TO A 5/8 INCH IRON ROD, ALONG THE ARC OF A 125.00 FOOT RADIUS CURVE TO THE RIGHT 36.08 FEET (THE LONG CHORD OF WHICH BEARS NORTH 50°39'21" WEST 35.95 FEET) TO A 5/8 INCH IRON ROD, NORTH 42°21'38" WEST 19.99 FEET TO A 5/8 INCH IRON ROD, ALONG THE ARC OF A 75.00 FOOT RADIUS CURVE TO THE LEFT 72.22 FEET (THE LONG CHORD OF WHICH BEARS NORTH 69°54'04" WEST 69.46 FEET) TO A 5/8 INCH IRON ROD, NORTH 8°30'29" WEST 25.00 FEET TO A 5/8 INCH IRON ROD, NORTH 8°35'16" WEST 25.00 FEET TO A 5/8 INCH IRON ROD, NORTH 8°34'49" WEST 95.23 FEET TO A 5/8 INCH IRON ROD, NORTH 8°23'07" WEST 64.96 FEET TO A 5/8 INCH IRON ROD, NORTH 8°38'42" WEST 61.53 FEET TO A 5/8 INCH IRON ROD, NORTH 21°35'53" WEST 81.64 FEET TO A 5/8 INCH IRON ROD, AND NORTH 17°47'31" EAST 80.06 FEET TO A 5/8 INCH IRON ROD AT THE NORTHEAST CORNER OF LOT 51 OF SAID "LINCOLN PALISADES", ALSO BEING ON THE SOUTH RIGHT OF WAY LINE OF NE 51ST LOOP; THENCE ALONG THE SOUTH LINE OF SAID 51ST LOOP SOUTH 71°39'43" EAST 149.29 FEET TO A 5/8 INCH IRON ROD AT THE EAST END OF SAID 51ST LOOP; THENCE ALONG SAID EAST END NORTH 18°20'17" EAST 50.00 FEET TO A 5/8 INCH IRON ROD; THENCE ALONG THE ARC OF A 9.50 FOOT RADIUS CURVE TO THE RIGHT 14.51 FEET (THE LONG CHORD OF WHICH BEARS NORTH 27°54'34" WEST 13.14 FEET) TO A 5/8 INCH IRON ROD ON THE EAST RIGHT OF WAY LINE OF NE WAVE LANE; THENCE ALONG SAID EAST LINE OF WAVE LANE THE FOLLOWING COURSES: NORTH 15°50'34" EAST 176.30 FEET, ALONG THE ARC OF A 300.00 FOOT RADIUS CURVE TO THE RIGHT 209.34 FEET (THE LONG CHORD OF WHICH BEARS NORTH 35°49'58" EAST 205.12 FEET) TO A 5/8 INCH IRON ROD, NORTH 55°49'23" EAST 96.89 FEET TO A 5/8 INCH IRON ROD, AND ALONG THE ARC OF A 9.00 FOOT RADIUS CURVE TO RIGHT 13.94 FEET (THE LONG CHORD OF WHICH BEARS SOUTH 79°47'50" EAST 12.59 FEET) TO A 5/8 INCH IRON ROD ON THE WESTERLY RIGHT OF WAY LINE OF NE 55TH PLACE; THENCE ALONG SAID WESTERLY LINE OF 55TH PLACE SOUTH 35°25'03" EAST 16.73 FEET TO A 5/8 INCH IRON ROD AT THE SOUTHERLY END OF SAID 55TH PLACE; THENCE ALONG SAID SOUTHERLY END OF 55TH PLACE NORTH 54°34'57" EAST 50.00 FEET TO A 5/8 INCH IRON ROD ON THE EASTERLY RIGHT OF WAY LINE OF SAID 55TH PLACE; THENCE ALONG SAID EASTERLY LINE OF 55TH PLACE THE FOLLOWING COURSES: NORTH 35°25'03" WEST 213.75 FEET TO A 5/8 INCH IRON ROD, ALONG THE ARC OF A 9.00 FOOT RADIUS CURVE TO THE RIGHT 14.14 FEET (THE LONG CHORD OF WHICH BEARS NORTH 9°34'57" EAST 12.73 FEET) TO A 5/8 INCH IRON ROD, NORTH 54°34'57" EAST 16.00 FEET TO A 5/8 INCH IRON ROD, AND NORTH 35°25'03" WEST 50.00 FEET TO A 5/8 INCH IRON ROD ON THE SOUTHERLY LINE OF LOT 84 OF "LINCOLN PALISADES PHASE 2", A SUBDIVISION PLAT OF RECORD LOCATED IN THE SOUTHWEST ONE-QUARTER OF SECTION 35 OF TOWNSHIP 6 SOUTH, RANGE 11 WEST OF THE WILLAMETTE MERIDIAN, CITY OF LINCOLN CITY, LINCOLN COUNTY, OREGON; THENCE ALONG THE SOUTHERLY LINE OF SAID LOT 84 NORTH 54°34'57" EAST 92.00 FEET TO A 5/8 INCH IRON ROD AT THE MOST EASTERLY CORNER OF SAID LOT 84; THENCE ALONG THE EASTERLY LINE OF SAID LOT 84 NORTH 30°07'30" WEST 87.82 FEET TO A 5/8 INCH IRON ROD AT THE MOST SOUTHERLY CORNER OF LOT 82 OF SAID "LINCOLN PALISADES PHASE 2"; THENCE ALONG THE EAST LINE OF SAID LOT 82 NORTH 17°46'17" EAST 113.53 FEET TO THE MOST EASTERLY CORNER OF SAID LOT 82, ALSO BEING ON THE SOUTH RIGHT OF WAY LINE OF NE VOYAGE WAY AND BEING WITNESSED BY A 5/8 INCH IRON ROD WHICH BEARS SOUTH 17°46'17" WEST 4.00 FEET FROM THE TRUE CORNER; THENCE ALONG THE SOUTH LINE OF SAID VOYAGE WAY ALONG THE ARC OF A 120.00 FOOT RADIUS CURVE TO THE LEFT 194.31 FEET (THE LONG CHORD OF WHICH BEARS NORTH 68°10'43" EAST 173.76 FEET) TO A 5/8 INCH IRON ROD; THENCE ALONG THE EAST RIGHT OF WAY LINE OF SAID VOYAGE WAY THE FOLLOWING COURSES: NORTH 21°47'29" EAST 641.26 FEET TO A 5/8 INCH IRON ROD, ALONG THE ARC OF A 190.00 FOOT RADIUS CURVE TO THE LEFT 46.53 FEET (THE LONG CHORD OF WHICH BEARS NORTH 14°46'31" EAST 46.42 FEET) TO A 5/8 INCH IRON ROD, ALONG THE ARC OF A 9.00 FOOT RADIUS CURVE TO THE RIGHT 12.59 FEET (THE LONG CHORD OF WHICH BEARS NORTH 47°50'26" EAST 11.59 FEET) TO A 5/8 INCH IRON ROD, NORTH 87°55'19" EAST 18.93 FEET TO A 5/8 INCH IRON ROD, NORTH 2°04'41" WEST 50.00 FEET TO A 5/8 INCH IRON ROD, SOUTH 87°55'19" WEST 18.93 FEET TO A 5/8 INCH IRON ROD, ALONG THE ARC OF A 9.00 FOOT RADIUS CURVE TO THE RIGHT 12.59 FEET (THE LONG CHORD OF WHICH BEARS NORTH 51°59'49" WEST 11.59 FEET) TO A 5/8 INCH IRON ROD, ALONG THE ARC OF A 190.00 FOOT RADIUS CURVE TO THE LEFT 141.05 FEET (THE LONG CHORD OF WHICH BEARS NORTH 33°10'57" WEST 137.83 FEET) TO A 5/8 INCH IRON ROD, NORTH 54°26'58" WEST 69.27 FEET, AND ALONG THE ARC OF A 15.00 FOOT RADIUS CURVE TO THE RIGHT 23.52 FEET (THE LONG CHORD OF WHICH BEARS NORTH 9°32'20" WEST 21.18 FEET) TO A 5/8 INCH IRON ROD ON THE EAST ON THE EAST RIGHT OF WAY LINE OF NE VOYAGE AVENUE; THENCE ALONG THE EAST LINE OF SAID VOYAGE AVENUE THE FOLLOWING COURSES: NORTH 35°22'18" EAST 13.48 FEET TO A 5/8 INCH IRON ROD, ALONG THE ARC OF A 245.00 FOOT RADIUS CURVE TO THE LEFT 151.81 FEET (THE LONG CHORD OF WHICH BEARS NORTH 17°37'12" EAST 149.40 FEET) TO A 5/8 INCH IRON ROD, AND NORTH 0°07'54" WEST 77.85 FEET TO A 5/8 INCH IRON ROD AT THE MOST NORTHERLY NORTHWEST CORNER OF THE AFOREMENTIONED TRACT A OF "LINCOLN PALISADES PHASE 2"; THENCE ALONG THE NORTH LINE OF SAID TRACT A NORTH 89°52'05" EAST 325.05 FEET TO THE POINT OF BEGINNING AND THE INITIAL POINT.

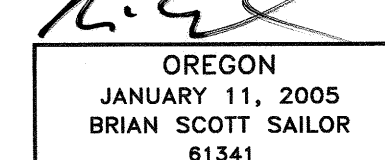
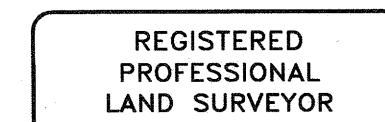
PARTITION PLAT CONSENT AFFIDAVIT BY OAK BROOK FINANCIAL CORPORATION, RECORDED IN LINCOLN COUNTY, OREGON DEED RECORDS AS DOCUMENT NUMBER 2015-12610

STATE OF OREGON S.S. COUNTY OF LINCOLN

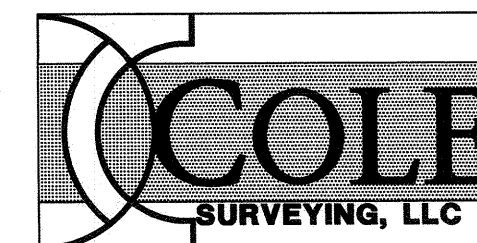
I DANA W. JENKINS, LINCOLN COUNTY CLERK, DO HEREBY CERTIFY THAT THIS PARTITION PLAT WAS RECEIVED FOR RECORDING ON THIS 31 DAY OF December, 2015 AT 8:53 AM O'CLOCK M. AND RECORDED AS PARTITION PLAT NO. 2015-13, 13A-B LINCOLN COUNTY RECORDS.

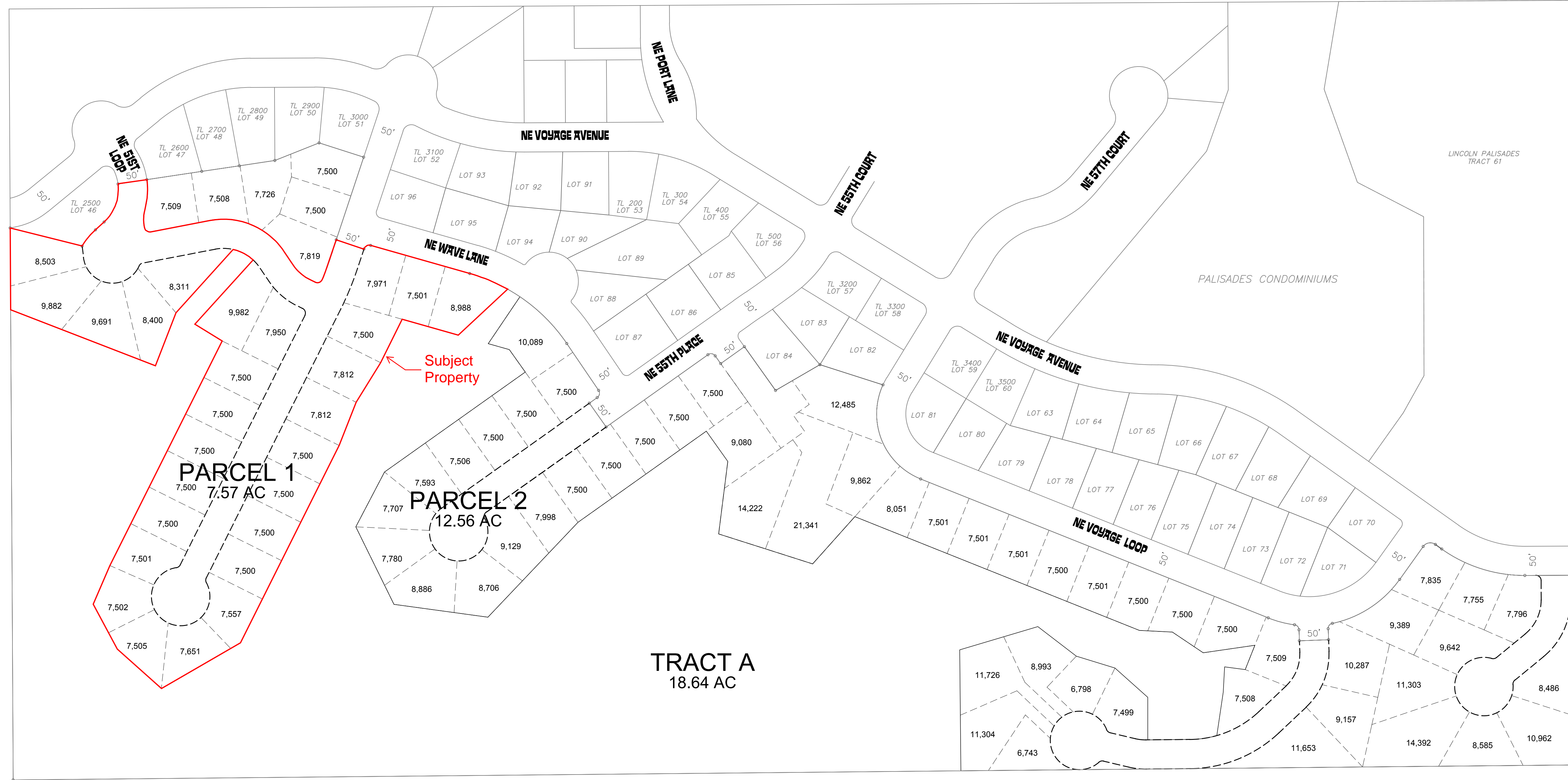
[Signature] 12/31/2015
LINCOLN COUNTY CLERK DATE

I, BRIAN SCOTT SAILOR, HEREBY CERTIFY THAT THIS IS AN EXACT COPY OF THE ORIGINAL PARTITION PLAT.

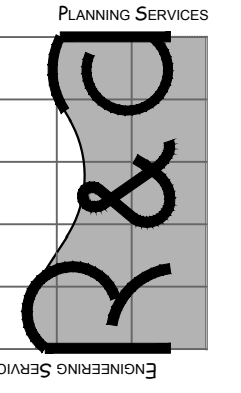


BRIAN SCOTT SAILOR, P.L.S. COLE SURVEYING, LLC P.O. BOX 1211 CORVALLIS, OREGON 97339 (541) 929-5500





Reece & Associates, Inc.  
 321 First Avenue East, Suite 3A  
 Albany, Oregon 97121  
 Phone: 541-926-2428  
 Fax: 541-926-2456



REGISTERED PROFESSIONAL  
 ENGINEER  
 CIVIL  
 No. 16, 882  
 D. J. REECE  
 EXP. 12/31/16

LINCOLN PALISADES  
 FUTURE CONVERSION PLAN  
 ALPHA BUILDING VENTURES, LLC  
 LINCOLN CITY, OREGON

REV.	DATE	BY

PROJECT NO.  
**ABV1501**  
 DATE 06/15/15  
 DESIGNED A. VASQUEZ  
 ENGINEER D. REECE  
 CHECKED

SCALE AS INDICATED  
 1" = 100'  
 IF THIS GRAPHIC BAR  
 DOES NOT MEASURE  
 ONE INCH (1") THEN  
 THE DRAWING IS  
 NOT TO SCALE!

SHEET NUMBER

**C2**

**FUTURE CONVERSION PLAN**  
 SCALE: 1" = 100'  
 Area of future lots shown in square feet.

LINCOLN PALISADES  
Phase Two

DECLARATION OF PROTECTIVE COVENANTS,  
CONDITIONS, RESTRICTIONS AND EASEMENTS

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**DECLARATION OF PROTECTIVE COVENANTS,  
CONDITIONS, RESTRICTIONS, AND EASEMENTS  
FOR LOTS 1 THROUGH 34, LINCOLN PALISADES PHASE TWO  
IN LINCOLN CITY, OREGON**

**THIS DECLARATION** is made this \_\_\_\_\_ day of \_\_\_\_\_, 2007, by Palisades Properties, LLC (“Delcarant”).

Delcarant owns all the real property and improvements thereon located in an unincorporated area of Lincoln County, Oregon, described on Exhibit “A” (the “Property”). All capitalized terms used herein shall have the meanings attributed to them in Article 1 hereof.

Declarant intends to develop the Property as a planned development, which shall be called Lincoln Palisades, and to impose mutually beneficial covenants, conditions, restrictions, easements, assessments and liens on the Property under a comprehensive general plan of improvement and development for the benefit of all the Owners, the Lots within Lincoln Palisades. Lincoln Palisades is a planned subdivision of thirty-four (34) Lots with no Common Area.

NOW, THEREFORE, Declarant declares that the Property shall be held, transferred, sold, conveyed and occupied subject to the following covenants, conditions, restrictions, easements, charges and liens, which shall run with the land, which shall be binding upon all parties having or acquiring any right, title or interest in the Property or any part thereof, and which shall insure to the benefit of the of the Association and each Lot Owner.

**ARTICLE 1**

**DEFINITIONS**

As used in this Declaration, the terms set forth below shall have the following meanings:

- 1.1 “Architectural Review Committee” or “ARC” shall mean and refer to Declarant until the Turnover Meeting as defined in Section 8.2 hereof, has been held and thereafter shall refer to the Board of Directors unless the Board has appointed a separate body or architectural firm to carry out the functions described in Article 6 hereof, in which case “Architectural Review Committee” or “ARC” shall refer to the body so appointed.
- 1.2 “Declarant” shall mean and refer to Palisades Properties, LLC, its successors and assigns, or any successor or assign to all or the remainder of its interest in the development of the Property.
- 1.3 “Declaration” shall mean the covenants, conditions, restrictions, and all other provisions set forth in this Declaration of Covenants, Conditions and Restrictions.
- 1.4 “General Plan of Development” shall mean Declarant’s general plan of development of the Property, as approved by appropriate government agencies, as such plan may be amended from time to time.
- 1.5 “Home” shall mean and refer to any portion of a structure situated on a Lot, which portion is designed and intended for use and occupancy as a residence by a single family or household.

- 1.6 “Living Unit” shall mean and refer to any portion of a structure situated on a Lot or Lots, which portion is designed and intended for use and occupancy as a residence by a single family or household.
- 1.7 “Lot” shall mean and refer to each and any lot which is shown on the Plat and which is subject to this Declaration.
- 1.8 “Occupant” shall mean and refer to the occupant of a Home who shall be either the Owner, a lessee or any other person authorized by the Owner to occupy the premises.
- 1.9 “Owner” shall mean and refer to the owner of record, whether one (1) or more persons or entities, of the fee simple title to any Lot or to a purchaser in possession under a land sale contract. The foregoing does not include persons or entities that hold an interest in any Lot merely as security for the performance of an obligation.
- 1.10 “Plat” shall mean and refer to the plat for Lincoln Palisades Phase Two, which has been recorded in Lincoln County and which depicts the Lots.
- 1.11 “Property” shall mean and refer to all real property that is subject to this Declaration, including Lots and all improvements located thereon, as more particularly set forth on Exhibit “A”.
- 1.12 “Rules and Regulations” shall mean and refer to the documents containing rules, regulations and policies adopted by the ARC; as such documents may be from time to time amended.
- 1.13 “Tracts” shall mean and refer to those parcels of land that are designated as a Tract on the Plat.
- 1.14 “Lincoln Palisades Phase Two” shall mean the Lots described on the Plat.

## ARTICLE 2

### PROPERTY SUBJECT TO THIS DECLARATION

The real property that is and that shall be held, transferred, sold, conveyed and occupied and improved subject to this Declaration is located in The City Limits of Lincoln City and of Lincoln County, Oregon, and is shown on the Plat for Lincoln Palisades Phase Two, which has been filed in the plat records of Lincoln County, Oregon, and also is described as Exhibit “A”.

## ARTICLE 3

### OWNERSHIP AND EASEMENTS

- 3.1 **Ownership of Lots.** Title to each Lot in Lincoln Palisades Phase Two shall be conveyed in fee to an Owner. If more than one (1) person and/or entity owns an undivided interest in the same Lot, such person and/or entity shall constitute one (1) Owner.
- 3.2 **Easements.** Individual deeds to Lots may, but shall not be required to, set for the easements specified in Article 3.

- 3.2.1 **Easements on Plat.** Lots are subject to the easements and rights of way shown on the Plat.
- 3.2.2 **Additional Easements.** Notwithstanding anything expressed or implied to the contrary on the Plat, the Bylaws or herein, this Declaration shall be subject to all easements granted by Declarant for the installation and maintenance of utilities and drainage facilities necessary for the development of Lincoln Palisades Phase Two. No structure, planting or other material that may damage or interfere with the installation or maintenance of utilities, that may change the direction of flow of drainage channels in the easement areas, or that may obstruct or retard the flow of water through drainage channels in the easement areas shall be placed or permitted to remain within any easement area. The easement area of each Lot and all improvements thereon shall be maintained continuously by the Owner of the Lot, except for those improvements for which a public authority or a utility company.

## ARTICLE 4

### LOTS AND HOMES

4.1 **Residential Use.** The Lots with residential designations shall be used for only residential purposes. Except with the consent of the Board, no trade, craft, business, profession, commercial or similar activity of any kind shall be conducted on any Lot; nor shall any goods, equipment, vehicles, materials or supplies used in connection with any trade service or business be kept or stored on any Lot. Nothing in this paragraph 4.1 shall be deemed to prohibit (a) activities relating to the sale of residences, (b) the right of Declarant or any contractor or homebuilder to construct residences on any Lot, to store construction materials and equipment on such Lots in the normal course of construction, and to use any residence as a sales office or model home for purposes of sales in Lincoln Palisades Phase Two, and (c) the right of the Owner of a Lot to maintain his professional or personal library, keep his personal business or professional records or accounts, handle his personal business or professional telephone calls or confer with business or professional associates, clients or customers in his residence. The Board shall not approve commercial activities otherwise prohibited by this residence. The Board shall not approve commercial activities otherwise prohibited by this paragraph 4.1 for residential properties unless the Board determines that only normal residential activities would be observable outside of the residence and that the activities would not be in violation of Lincoln City or County ordinances. The Lot with the commercial/retail designation shall be utilized in accordance with the uses allowed for this property under the Lincoln City and County Zoning Ordinance.

4.2 **Construction of Homes.** No construction, reconstruction or exterior alterations shall occur on a Lot unless the approval of the ARC is first obtained pursuant to Article 6 hereof. Declarant shall adopt architectural and landscaping guidelines for the ARC and shall act as the ARC until the Turnover Meeting. Considerations such as sitting, shape, size, color, design, height, solar access, or material may be taken into account by the ARC in determining whether or not to consent to any proposed work. No residence shall be more than 35 feet high from the ground. Check building code for requirements.

4.3 **Maintenance of Lots and Homes.** Each Owner shall maintain all portions of his or her Lot and all improvements on such Lot in a clean and attractive condition, in good repair and in such fashion as not to create a fire hazard. Such maintenance shall include, without limitation, painting, repair, and replacement of and care for roofs, gutters, downspouts, exterior building surfaces, walks and other exterior improvements and glass surfaces. All repainting or restaining and exterior remodeling shall be subject to prior review and approval by the ARC. In addition, each Owner shall keep all shrubs, trees, grass and plantings of every kind on his Lot neatly trimmed, properly cultivated and free of trash, weeds and other unsightly material. Owner must also have basic landscaping on grounds. No trees, in excess of six feet in height, or four inches in diameter, may be removed without a tree cutting permit issued by the ARC or

Lincoln City. Damage caused by fire, flood, storm, earthquake, riot, vandalism, or other causes shall likewise be the responsibility of each Owner, and any Lot or improvement thereon that is so damaged shall be restored within a reasonable period of time.

4.4 **Rental of Homes.** Owner shall abide by the Lincoln City Rental Code.

4.5 **Animals.** No animals, livestock or poultry of any kind, other than four (4) household pets, which are not kept, bred or raised for commercial purposes and which are reasonably controlled so as not to be a nuisance, shall be permitted within any Lot. Any inconvenience, damage or unpleasantness caused by such pets shall be the responsibility of the respective Owners thereof. Dogs shall not be permitted to roam the Property unattended, and all dogs shall be kept on a leash while outside their owner's Lot. An Owner may be required to remove a pet upon the receipt of the third notice in writing from the Board of violation of any rule, regulation or restriction governing pets within the Property. Any dog which the Board of Directors reasonably determines is vicious or dangerous to Owners of Lots, their families and guests, shall be removed by the Owner thereof immediately upon written notice from the Board of Directors. At the owner's request after such removal, a hearing will be held by the Board of Directors to review its determination and affirm or reverse its previous determination. Any dog, which is considered vicious under any Lincoln City or County ordinance, shall be conclusively deemed a vicious dog, which the Board of Directors shall exclude from the Property.

4.6 **Offensive or Unlawful Activities.** No noxious or offensive activities shall be carried on upon any Lot, nor shall anything be done or placed on any Lot which interferes with or jeopardizes the enjoyment of other Lots, or which is a source of annoyance to residents. No unlawful use shall be made of a Lot nor any part thereof, and all valid laws, zoning ordinances and regulations of all governmental bodies having jurisdiction thereof shall be observed.

4.7 **Parking.** Parking of commercial vehicles, boats, trailers, motorcycles, trucks, truck campers or other recreational vehicle or equipment shall not be allowed on any part of the Property, except only if or within the confines of an enclosed garage or screened area, the plans of which shall have been reviewed and approved by ARC prior to construction, and no portion of the same may project beyond the screened area. No vehicle owned, rented, borrowed or under the control of the occupant of the dwelling located on the Lot and no vehicles owned by others who are guests of the occupants of the dwelling may be parked on the street roadway area for more than seven (7) days.

4.8 **Vehicles in Disrepair.** No Owner shall permit any vehicle that is in an extreme state of disrepair to be abandoned or to remain parked upon any Lot or on the Common Area for a period in excess of forty-eight (48) hours. A vehicle shall be deemed to be in an "extreme state of disrepair" when the Board reasonably determines that its presence offends the Owners or Occupants. Should any Owner fail to remove such vehicle within five (5) days following the date on which the notice is mailed to him by Lincoln City, the board or City may have the vehicle removed from the Property and may charge the expense of such removal to the Owner.

4.9 **Signs.** No signs shall be erected or maintained on any Lot except a project sign and except that not more than one (1) "For Sale" or "For Rent" sign placed by the Owner. Declarant or by a licensed real estate agent, after approval as to form by the ARC, may be temporarily displayed on any Lot.

4.10 **Rubbish and Trash.** No Lot or roadway shall be used as a dumping ground for trash or rubbish of any kind. All garbage and other waste shall be kept in appropriate sanitary containers for proper disposal and out of public view. Yard rakings, dirt and other material resulting from landscaping work shall not be dumped onto the roadways. A reasonably sized compost area shall be permitted as long as it is not offensive to other Owners. Should any Owner fail to remove any trash, rubbish, garbage, yard rakings or any such materials from any Lot or any streets where deposited by him within five (5) days following the date on which notice is mailed to him by the Board or the City may have such materials removed and may charge the expense of such removal to the Owner.

4.11 **Landscape Completion.** All landscaping must be completed within six (6) months from the date a Certificate of Occupancy is issued by the governing authority for the dwelling unit constructed thereon. In the event of undue hardship due to weather conditions, this provision may be extended for a reasonable length of time upon written approval of ARC.

4.12 **Temporary Structures.** No structure of a temporary character, trailer, basement, tent, shack, garage, barn or other outbuildings shall be used on any Lot at any time as a residence either temporarily or permanently.

4.13 **Manufactured Dwellings Excluded.** No manufactured dwellings, as that term is defined in ORS Chapter 446 as of the date of this declaration, shall be used on any lot at any time as a residence either temporarily or permanently.

4.14 **Fences.** All fences, screens and similar structures shall not obstruct any Lot's view, and are subject to the ARC approval process.

4.15 **Service Facilities.** All telephone, power, natural gas, cable television and other communication lines shall be placed underground.

4.16 **Antennas and Satellite Dishes.** Exterior antennas and satellite receivers shall not be permitted to be placed upon any Lot or improvement except as approved by ARC. Exterior satellite dishes with a surface diameter of twenty-four (24) inches or less may be placed on any Lot so long as they are not visible from the street of neighboring properties.

4.17 **Plan and Exterior Color Approval.** All exteriors of residences shall be constructed of natural cedar shingles, board and batten, or cedar beveled lap siding either left natural or painted or stained in shades or colors approved by the ARC. Complete plans, including landscape plans, grade elevations and exterior color, trim color, and exterior lighting selection must be submitted to ARC for approval prior to the start of construction. It is suggested that preliminary plans be submitted to ARC for preliminary approval prior to commencing working drawings.

4.18 **Roofing Materials.** Roofs are to be constructed of materials approved by ARC. No metal roofs will be allowed.

4.19 **Outdoor Lighting.** The number, type, design and candle power of outdoor lighting shall be subjected to the review of ARC. Outdoor lighting that is offensive to a neighbor may require change at the direction of ARC.

4.20 **Grades, Slopes and Drainage.** The established drainage patterns or systems over or through any Lot within Lincoln Palisades shall not be interfered with so as to affect any other lot or Common Area or any real property outside Lincoln Palisades unless adequate alternative provision is made for proper drainage and is approved by the ARC. The term "established drainage" shall mean the drainage swales, conduits, inlets and outlets naturally existing or designed and constructed for storm water run off.

4.21 **Damage or Destruction to Home and/or Lot.** If all or any portion of a Lot or Home is damaged by fire or other casualty, the Owner shall either (i) restore and damaged improvements or (ii) removed all damaged improvements, including foundations, and leave the Lot in a clean and safe condition. Any restoration proceeding under (i) above must be performed so that the improvements are in substantially the same condition in which they existed prior to the damage, unless the provisions of Article 6 hereof are complied with by the Owner. The Owner must commence such work within sixty (60) days after the damage occurs and must complete the work within six (6) months thereafter. In addition, Owners shall act in accordance with the provisions of any applicable party wall and maintenance agreements; provided, however, that in the event of a conflict between the provisions hereof and of such an agreement, the provisions hereof shall control.

4.22 **Ordinances and Regulations.** The standards and restrictions set forth in this Article 4 shall be the minimum required. To the extent that local governmental ordinances and regulations are more restrictive or provide for a higher or different standard, such local governmental ordinances and regulations shall prevail.

4.23 **Construction Debris.** Every contractor building any improvement upon any lot or the Common Area shall furnish trash containers and at all times shall keep the premises free from accumulation of trash and scrap caused by construction. Trash shall not be allowed outside a designated trash and scrap area and any that does intrude beyond shall be cleaned up immediately. Upon completion of the work, all remaining trash and scrap shall be disposed of legally. Tools, construction equipment, machinery, and surplus materials shall be removed from the site. The ARC or Declarant shall be entitled to enter upon any construction site within Lincoln Palisades and to clean up, remove and dispose of materials on-site, to charge the contractor for any costs incurred by the ARC or Declarant in performing such acts, and to recover such costs and attorneys' fees and court costs in a legal action against contractor.,

4.24 **Construction Activities and Noise.** Construction activities shall not take place before noon on Sundays and Holidays. Holiday hours shall be announced by the ARC. The ARC may impose additional restrictions on hours or days on which construction activity can take place and may place limits on noise levels. Pets shall not be permitted on any construction site. See Lincoln City codes.

4.25 **Final Inspection.** A final inspection and approval shall be obtained from the Lincoln County Building Department before any Home within Lincoln Palisades Phase Two may be occupied or rented.

## ARTICLE 5

### **ARCHITECTURAL REVIEW COMMITTEE**

5.1 **Architectural Review.** No improvement shall be commenced, erected, placed or altered on any Lot until the construction plans and specification showing the nature, shape, heights, materials, colors, and proposed location of the improvement have been submitted to and approved in writing by the ARC. It is the intent and purpose of this Declaration to assure quality of workmanship and materials and the harmony of exterior design with the existing improvements and landscaping. The ARC is not responsible for determining compliance with structural and building codes, solar ordinances, zoning codes or other governmental regulations. Nor shall the ARC's review analyze structural, geophysical, engineering or other similar factors. Such compliance and analysis are the responsibilities of the Owners. The procedure and specific requirements for review and approval of construction may be set forth in design guidelines adopted from time to time by the ARC. In all cases in which the ARC's consent is required by this Declaration, the provisions of this Article 6 shall apply.

5.2 **Architectural Review Committee, Appointment and Removal.** The ARC shall consist of no fewer than one (1) members and no more than three (3) members, unless an architectural firm is appointed to serve as the ARC. Declarant reserves the right to appoint all members of the ARC and, from time to time, any replacements thereto until the Turnover Meeting, as defined in Section 8.2 hereof. Until the Turnover Meeting, Declarant may appoint an architect or architectural firm to serve as the ARC. After the Turnover Meeting, Declarant shall delegate the right to appoint and remove members of the ARC to the Board, which board may continue to utilize an architect or architectural firm as the ARC. The term of office for each member of the ARC shall be one (1) year unless lengthened by the Board at the time of appointment or entry into contract with architectural firm or unless the Board serves as the ARC, in which event the terms of ARC members shall be the same as their terms as Board members. The Board may appoint one (1) or more members who are not Owners but who have special expertise regarding the matters which come before the ARC to the ARC. In the sole discretion of the Board, such non-Owner members of the ARC may be paid.

5.3 **Majority Action.** Except as otherwise provided in this Declaration, a majority of the members of the ARC shall have the power to act on behalf of the ARC, without the necessity of a meeting and without the necessity of consulting the remaining members of the ARC. The ARC may render its decision only by written instrument setting forth the action taken by the members consenting thereto.

5.4 **Duties.** The ARC shall consider and act upon the proposals and/or plans submitted pursuant to his Article 6. The ARC, from time to time at its sole discretion, may adopt architectural rules, regulations and guidelines (“Architectural Standards”). The Architectural Standards shall interpret and implement the provisions of this Declaration for architectural review and guidelines for architectural design, placement of buildings, color schemes, exterior finishes and materials and similar features that may be used in Lincoln Palisades Phase Two; provided, however, that the Architectural Standards shall not be in derogation of the minimum standards established by this Declaration.

5.5 **ARC Decision.** The ARC shall render its approval or denial decision with respect to a construction proposal within thirty (30) working days after it has received all materials required by it with respect to the application. All decisions shall be in writing. In the event that the ARC fails to render its decision of approval or denial in writing within thirty (30) days of receiving all material required by it with respect to the proposal, the application shall be deemed approved.

5.6 **ARC Discretion.** The ARC may, at its sole discretion, withhold consent to any proposed work if the ARC finds the proposed work would be inappropriate for the particular Lot or incompatible with the design standards that the ARC determines are appropriate for Lincoln Palisades Phase Two. Siding, shape, size, color, design, height, solar access, effect on the enjoyment of other Lots, effect on an easement and any other factors which the ARC reasonably believes to be relevant may be taken into consideration by the ARC in determining whether to consent to any proposed work.

5.7 **Nonwaiver.** Consent by the ARC to any matter proposed to it or within its jurisdiction shall not be deemed constitute precedent or waiver impairing its right to withhold approval as to any similar matter thereafter proposed or submitted to it for consent.

5.8 **Appeal.** At any time after Declarant has delegated appointment of the members of the ARC to the Board pursuant to Section 6.2 hereof, any Owner adversely affected by action of the ARC may appeal such action to the Board. Appeals shall be made in writing within ten (10) days of the ARC’s action and shall contain specific objections or mitigating circumstances justifying the appeal. If the Board is already acting as the ARC, the appeal shall be treated as a request for a rehearing, but in such case the Board must actually meet and receive evidence and argument. A final decision shall be made by the Board within fifteen (15) days after receipt of such notification. The determination of the Board shall be final.

5.9 **Effective Period of Consent.** The ARC’s consent to any proposed work shall automatically be revoked six (6) months after issuance unless construction of the work has been commenced or the Owner has applied for and has received an extension of time from the ARC. Once commenced, any such work shall be completed in six (6) months.

5.10 **Determination of Compliance.** From time to time, the ARC shall inspect all work performed and shall determine whether it is in substantial compliance with the approval granted. If the ARC finds that the work was not performed in substantial conformance with the approval granted, or if the ARC finds that the approval required was not obtained, the ARC shall notify the Owner in writing of the noncompliance. The notice shall specify the particulars of noncompliance and shall require the Owner to remedy the noncompliance.

5.11 **Noncompliance.** If the ARC determines that an Owner has not constructed an improvement consistent with the specifications of an approval granted, and if the Owner fails to agree to and diligently commence to remedy such noncompliance in accordance with the provisions of the notice of noncompliance, then at the expiration of the third (3<sup>rd</sup>) day from the date of such notification, the ARC shall provide notice to such Owner of a hearing at which such Owner’s continuing noncompliance shall be considered. The hearing shall be held not more than thirty (30) days after the date of the notice of

noncompliance. At the hearing, if the ARC finds that there is no valid reason for the continuing noncompliance, the ARC shall determine the estimated costs of correcting it. The ARC shall then require the Owner to remedy or remove the same within ten (10) days after the date of the ARC's determination. If the Owner does not comply with the ARC's ruling within such period or within any extension of such period as the ARC, at its discretion, may grant, the ARC may remove the noncomplying improvement, remedy the noncompliance, or file suite to compel compliance. The costs of such action, including all attorney's fees and other costs incurred to enforce compliance, whether incurred before or after suit is filed, at trial or on any appeal or review there from, shall be assessed against the Owner and his Lot.

5.12 **Liability.** Neither the ARC nor any member thereof shall be liable to any Owner, Occupant, builder or Declarant for any damage, loss or prejudice suffered or claimed on account of any action or failure to act of the ARC or a member thereof, provided that the ARC or member has, in accordance with its or his actual knowledge, acted in good faith.

5.13 **Estoppel Certificate.** Within thirty (30) working days after written request is delivered to the ARC by an Owner, and upon payment to the ARC of a reasonable fee fixed by the ARC to cover costs, the ARC shall provide such Owner with a certificate executed by the chairman of the ARC and acknowledged, certifying with respect to any Lot owned by the Owner, that as of the date thereof either: (a) all improvements made or done upon or within such Lot by the Owner comply with this Declaration and any Rules and Regulations promulgated by the Board or the ARC or (b) such improvements do not so comply, in which event, the certificate shall also identify the non-complying improvement and set forth with particularity the nature of such non-compliance. The Owner, his heirs, devisees, successors and assigns shall be entitled to rely on the certificate with respect to the matters set forth therein. The certificate shall be conclusive as among Declarant, the ARC, the Association and all Owners and such persons deriving any interest through any of them.

5.14 **Approval of Contractors and Insurance.** Contractors providing services in connection with the development or improvement of any Lot shall be subject to the following requirements: Contractors shall be approved Ashley Stanford by the ARC. General Contractors and subcontractors shall be licensed as required by local governmental ordinances and regulations. General contractors shall warrant all materials and workmanship to be of good quality and to remain in good condition for a period of one (1) year. A general contractor shall furnish to the Association evidence of public liability insurance in amounts reasonably acceptable to the ARC. Combined single limits of One Million Dollars (\$1,000,000) shall be deemed acceptable. The ARC may require the contractor to post a bond to assure that the interests of the project are protected and the requirements of the Declaration and Bylaws are followed. The ARC may place limitations on the hours and days on which construction activity can take place. In addition, the ARC may impose restrictions on the noise or decibel level at construction sites.

5.15 **Other Applicable Law.** All improvements must be constructed in full compliance with all applicable governmental building codes. All ARC review and inspection procedures are intended to assure compliance only with aesthetic considerations. Declarant, its affiliates, and the ARC are not responsible for design or construction defects or failure of the building to meet appropriate building codes.

## ARTICLE 6

### **DECLARANT CONTROL**

6.1 **Interim Board and Offices.** Declarant hereby reserves administrative control of the Association, including, without limitation, the right and power, in its sole discretion, to appoint and remove members of an interim Board of Directors (the "Interim Board"), which shall manage the affairs of the project and which shall be invested with all powers and rights of the Board. The Interim Board shall consist of from one (1) to three (3) members. Notwithstanding the provision of this Section 8.1, at the

Turnover Meeting at least one (1) Director shall be elected by Owners other than Declarant, even if Declarant otherwise has voting power to elect all of the members of the Board.

6.2 **Turnover Meeting.** Declarant shall call a meeting for the purpose of turning over administrative control of the project from Declarant to Class A members within one hundred twenty (120) days of the earliest of the following dates:

- 6.21.1 **Upon Sale of Lots.** The date on which Lots representing seventy-five percent (75%) of the total number of votes have been conveyed to persons other than Declarant. (For purposes of this calculation, the votes which would be attributable to annexable lots shall be counted as “Lots” owned by Declarant);
- 6.21.2 **Date Certain.** Seven (7) years from the date on which this Declaration is recorded; or
- 6.21.3 **Declarant’s Election.** The date on which Declarant elects in writing to terminate Class B membership. Declarant shall give notice of the meeting to each Owner as provided in the Bylaws. If Declarant does not call the meeting required under this Section 8.2, any Owner may do so.

## ARTICLE 7

### **DECLARANT’S SPECIAL RIGHTS**

7.1 **General.** Declarant is undertaking the work of developing Lots and other improvements within Lincoln Palisades Phase Two. The completion of the development work and the marketing and sale of the Lots is essential to the establishment and welfare of the Property as a residential community. Until the Homes on all Lots on the Property have been constructed, fully completed and sold, with respect to each Lot on the Property, Declarant shall have the special rights set forth in this Article 9.

7.2 **Marketing Rights.** Declarant shall have the right to maintain a sales office and model on one (1) or more of the Lots that Declarant owns, which sales office(s) and model(s) shall be staffed by the employees of Declarant or any licensed real estate sales agents. Declarant and prospective purchasers and their agents shall have the right to use and occupy the sales office and models during reasonable hours any day of the week. Declarant may maintain a reasonable number of “For Sale” signs at reasonable locations on the Property.

7.3 **Declarant Easements.** Declarant has reserved easements over, in, upon, under or across the Property as more fully described in Article 3 of this Declaration.

## ARTICLE 8

### **GENERAL PROVISIONS**

8.1 **Enforcement: Attorney’s Fees.** The ARC, the Owners, and any mortgages on any Lot shall have the right to enforce all of the covenants, conditions, restrictions, reservations, easements, liens and charges now or hereinafter imposed by any of the provisions of this Declaration as may pertain specifically to such parties or Owners by any proceeding at law or in equity. Failure by the ARC, any Owner, or a mortgage to enforce any covenant, condition or restriction herein contained shall in no event be deemed to be a waiver of its right to do so thereafter.

8.2 **Duration.** The covenant, conditions and restrictions of this Declaration shall run with and bind the land for a term of thirty-five (35) years from the date on which this Declaration is recorded, after which time they shall be automatically extended for successive periods of (10) years, unless rescinded by a vote of at least seventy-five percent (75%) of the Owners; provided, however, that amendments that do not constitute rescission of the planned community may be adopted as provided in Section 11.7 below.

8.3 **Unilateral Amendment by Declarant.** Declarant may amend this Declaration to comply with the requirements of the Federal Housing Administration of the United States, the Federal National Mortgage Association, the Government National Mortgage Association, the Federal Home Mortgage Loan Corporation, any department, bureau, board, commission or agency of the United States or the State of Oregon, or any other state in which the Lots are marketed and sold, or any corporation wholly owned, directly or indirectly, by the United States or the State of Oregon, or such other state, the approval of which entity is required in order for it to insure, guarantee or provide financing in connection with development of the Property and sale of Lots. Before the Turnover Meeting, no such amendment shall require notice to or approval by any Class A member. In addition, Declarant may amend this Declaration as provided for under Article 12 below.

8.4 **Private Agreement.** This Declaration and the covenants and agreements contained herein constitute a private agreement among the Owners of Lots in Lincoln Palisades Phase Two, Lincoln City or County is under no obligation to enforce any of its provisions. Likewise, the ARC and Declarant are under no obligation or duty to enforce Lincoln City or County regulations or to warrant to Owners that proposed improvements comply with Lincoln City or County regulations, such being the sole and exclusive responsibility of the Owner. This Declaration does not restrict Lincoln City or County's authority to adopt or amend its development regulations. Lincoln City and County shall limit its review of a development application to the requirements of its regulations. It is the duty of every person engaged in development or remodeling of a Lot or an improvement in Lincoln Palisades Phase Two to know the requirements of this Declaration and the covenants and agreements contained herein. In the event that a Lincoln City or County regulation conflicts with a provision of this Declaration, any question regarding which provision controls shall be directed to the ARC. While the ARC lacks authority to authorize the Owner to violate a Lincoln City or County standard, it may require the Owner to meet standards that meet or exceed the City or County's standards. Lincoln City and County shall not be liable for any approvals or permits that are granted in compliance with Lincoln City or County regulations but that are not in compliance with this Declaration.

8.5 **Resolution of Document Conflicts.** In the event of a conflict among any of the provisions in the documents governing Lincoln Palisades Phase Two, such conflict shall be resolved by looking to the following documents in the order shown below:

8.5.1 Declaration of Covenants, Conditions and Restrictions;

8.5.2 Rules and Regulations. The provisions of the Oregon Planned Community Act, ORS 94.550 et, seq, shall be paramount to the provisions in all of the above listed documents.

## ARTICLE 9

### **RIGHT TO AMEND DOCUMENTS**

9.1 Declarant hereby reserves the right to amend this Declaration and other documents relating to formation of Lincoln Palisades Phase Two, including, without limitation, the unilaterally and without obtaining the consent of any other Owner. Declarant may exercise such right to amend only to facilitate the partition or subdivision of Lots. Amendments made under this Article 9 shall be limited to those that Declarant in its sole and unfettered discretion deems to be necessary to identify Lots properly.

IN WITNESS WHEREOF, the undersigned being the Declarant herein, has executed this instrument this \_\_\_\_\_ day of \_\_\_\_\_, 2007.

Palisades Properties, LLC

By: \_\_\_\_\_  
Thomas H. Scott

STATE OF OREGON }  
                              } ss.  
County of Lincoln }

This instrument was acknowledged before me on this \_\_\_\_\_ day of \_\_\_\_\_, 2007, by Thomas H. Scott, as \_\_\_\_\_ of Palisades Properties, LLC.

\_\_\_\_\_  
NOTARY PUBLIC FOR OREGON  
My Commission Expires: \_\_\_\_\_

**LINCOLN PALISADES LEGAL DESCRIPTION**

Real Property in the County of Lincoln, State of Oregon, described as follows:

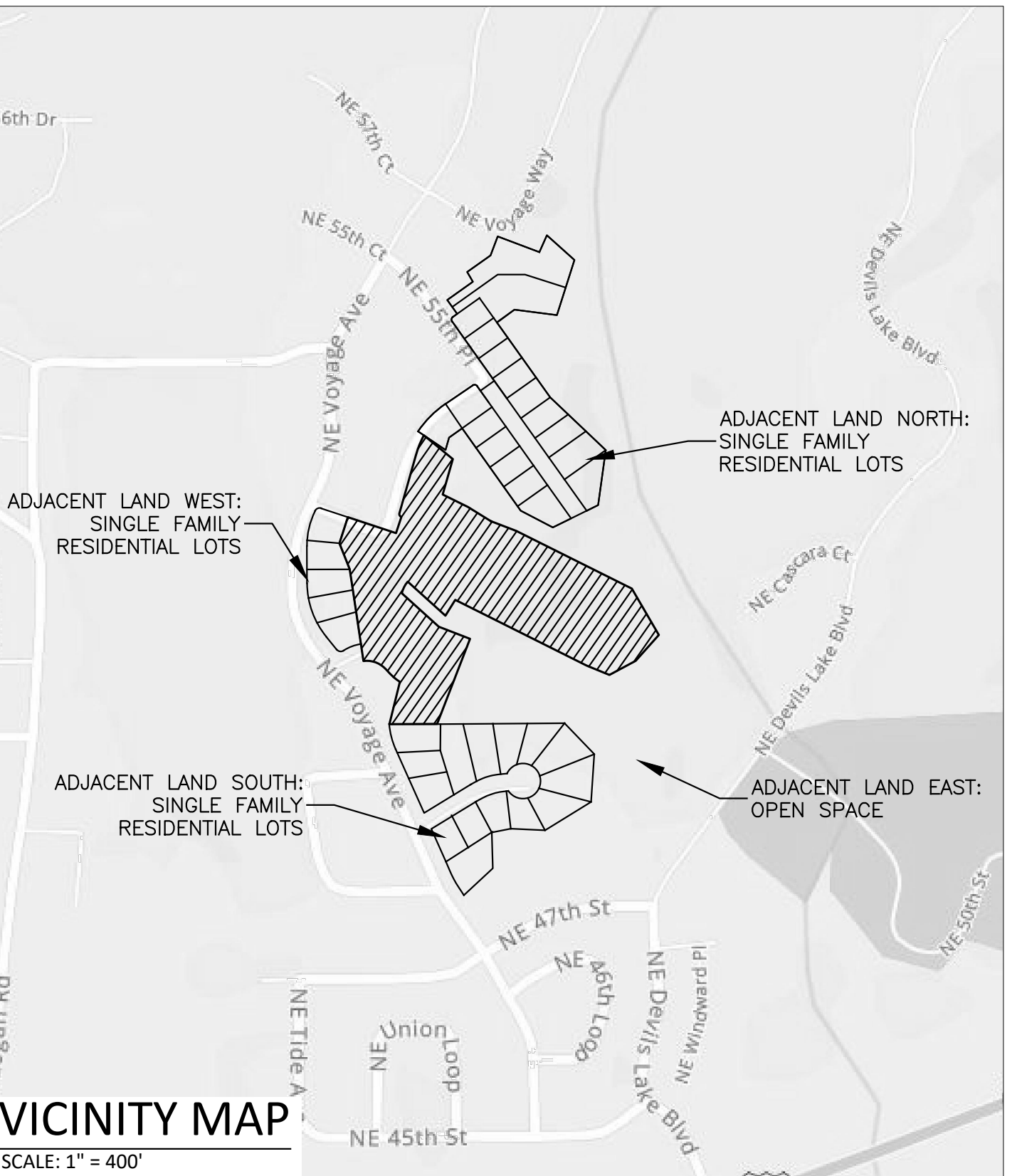
Tracts 61 and 62, EXCEPTING from tract 61 that portion conveyed in deed recorded December 6, 2002, Book 466, Page 871, Microfilm Records, All in LINCOLN PALISADES, In Lincoln County, Oregon.

# LINCOLN PALISADES PHASE VI PRELIMINARY MASTER PLAN

LINCOLN CITY, OREGON

### SHEET INDEX

- 1.0 COVER SHEET
- 2.0 EXISTING CONDITIONS
- 3.0 STREET LAYOUT
- 3.1 PRELIMINARY LANDSCAPE PLAN & TREE INVENTORY
- 3.2 PRELIMINARY LANDSCAPE PLAN & TREE INVENTORY NOTES
- 4.0 OVERALL UTILITY PLAN
- 4.1 NE 51ST LOOP PROFILE - STA -1+20 TO 2+75
- 4.2 NE 51ST LOOP PROFILE - STA 2+75 TO 5+50
- 4.3 NE 51ST LOOP PROFILE - STA 5+50 - 8+25
- 4.4 STREET A PLAN & PROFILE
- 4.5 STREET A STORM PLAN AND PROFILE



**OWNER/APPLICANT:**  
ALPHA BUILDING VENTURES, LLC  
P.O. BOX 688  
MCMINNVILLE, OR 97128

**REPRESENTATIVE:**  
REECE & ASSOCIATES, INC  
321 FIRST AVENUE EAST, SUITE 3A  
ALBANY, OR 97321  
TELEPHONE: 541 926-2428

**SURVEYOR:**  
COLE SURVEYING, INC  
6765 SW PHILOMATH BLVD  
P.O. BOX 2258  
CORVALLIS, OR 97339  
TEL: (541) 929-5500  
FAX: (541) 929-5700

**TRACT DESIGNATION:**  
MAP NO. 6S-11W-S35-CA  
TAX LOT 100  
MAP NO. 6S-11W-S35-CD  
TAX LOT 100

**ZONING:**  
R-1-7.5 - SINGLE FAMILY RESIDENTIAL

**SANITARY SEWER:**  
CITY SANITATION SYSTEM

**DOMESTIC WATER:**  
CITY WATER SYSTEM

**LAND USE TABULATION:**  
  
PROPOSED LOTS = 36

**HORIZONTAL DATA:**  
PER SURVEY

**VERTICAL DATA:**  
ELEVATION ESTABLISHED USING  
LINCOLN COUNTY GEODETIC  
CONTROL NUMBER 8919

**GENERAL NOTES:**  
THE PURPOSE OF THIS PLAN SET IS TO RECEIVE PRELIMINARY MASTER PLAN APPROVAL FOR THIRTY-SIX (36) SINGLE-FAMILY PARCELS WHOLLY IN LINCOLN PALISADES.

THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THERETO APPURTENANT.

NO SITE PREPARATION, SITE DISTURBANCE, BACK EXCAVATION OR OTHER CONSTRUCTION SHALL BE COMMENCED UNTIL ALL PERMITS REQUIRED BY OTHER LAWS, ORDINANCES, RULES OR REGULATIONS SHALL HAVE BEEN ISSUED.

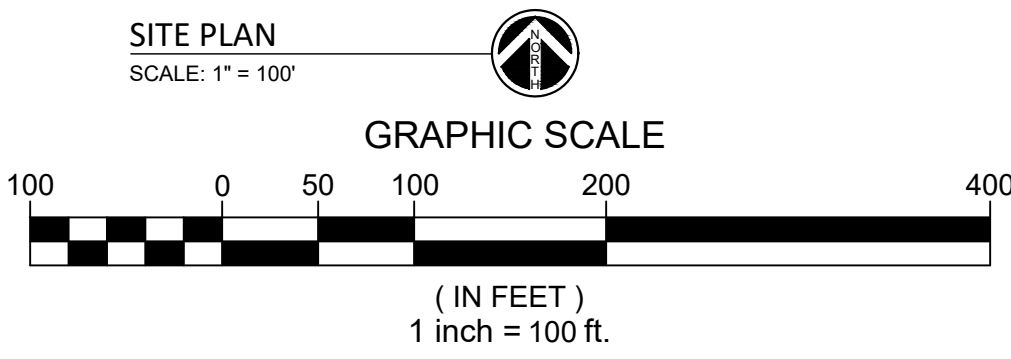
THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ALL EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY AND ALL DAMAGES DONE TO EXISTING UTILITIES DUE TO HIS/HER NEGLIGENCE SHALL BE IMMEDIATELY AND COMPETENTLY REPAIRED AT HIS/HER EXPENSE.

NO DEBRIS WILL BE BURIED ON THIS SITE.

THE COMPLETED JOB SHALL PRESENT A PROFESSIONAL APPEARANCE.

REQUIRED IMPROVEMENTS SHALL BE INSPECTED UNDER THE DIRECTION OF A REGISTERED PROFESSIONAL ENGINEER, AND CONSTRUCTED TO THE SATISFACTION OF THE CITY OF LINCOLN CITY. THE CITY MAY REQUIRE CHANGES IN TYPICAL SECTIONS AND DETAILS IF UNUSUAL CONDITIONS ARISING DURING CONSTRUCTION WARRANT SUCH A CHANGE IN THE PUBLIC INTEREST.

ALL CONSTRUCTION WITHIN THE LINCOLN CITY RIGHTS-OF-WAY SHALL BE IN CONJUNCTION WITH THE LINCOLN CITY GENERAL PROVISIONS AND POLICY GUIDELINES.



**ATTENTION EXCAVATORS:**  
OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER. YOU MUST NOTIFY THE CENTER AT LEAST TWO BUSINESS DAYS BUT NOT MORE THAN TEN BUSINESS DAYS BEFORE COMMENCING AN EXCAVATION.  
CALL: 800-668-4001

Reece & Associates, Inc.  
321 first avenue east, suite 3a  
albany oregon 97321  
phone: 541-926-2428  
fax: 541-926-2456

PLANNING SERVICES

R & A

ENGINEERING SERVICES

REGISTERED PROFESSIONAL ENGINEER 11,749

DAVID J. REECE

JULY 16, 1992

RENEWES 12/31/22

LINCOLN PALISADES - PHASE VI

COVER SHEET

ALPHA BUILDING VENTURES

LINCOLN CITY, OREGON

PLAN REVISIONS		
No.	DATE	BY

R&A PROJECT NO.  
**ABV2101**

DATE 07-12-2021

DESIGNED A.HERRMANN

ENGINEER D. REECE

CHECKED J. WHITE

SCALE AS INDICATED

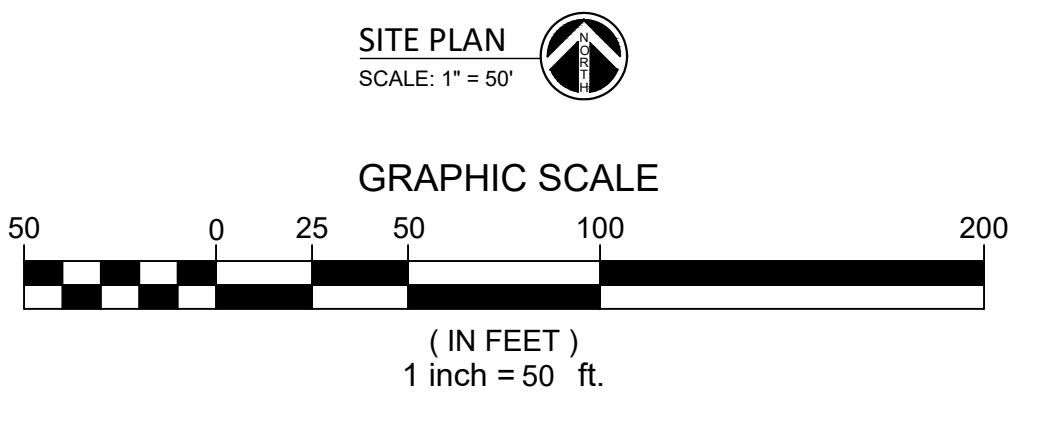
SHEET NUMBER

**1.0**



Symbol	Description
(---)	Existing Property Line
(---)	Existing Contour
(---)	Existing Sanitary Sewer Line
(---)	Existing Storm Line
(---)	Existing Water Line
(S)	Existing Sanitary Sewer Manhole
(SM)	Existing Storm Manhole
(CI)	Existing Curb Inlet
(BL)	Existing Blowoff
(WM)	Existing Water Meter
(WV)	Existing Water Valve
(FH)	Existing Fire Hydrant
(SL)	Existing Street Light
(X)	Existing Easement
(S*)	Existing Coniferous Tree (mostly Spruce / Drip As Drawn)
(T)	Existing Tree To Be Removed
(W)	Existing Wetland
(TC)	Existing Tree Canopy
(FA)	Existing Flow Direction

- NOTES**
1. TOPO BY COLE SURVEY
  2. NO SEPTIC SYSTEMS ARE ON THE SUBJECT PROPERTY



R&C  
ENGINEERING SERVICES

REGISTERED PROFESSIONAL  
ENGINEER  
11,749  
DAVID J. REECE  
OREGON  
JULY 16, 1982  
RENEWS 12/31/22

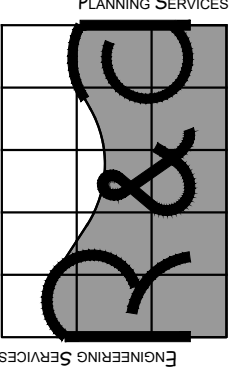
LINCOLN PALISADES - PHASE VI  
EXISTING CONDITIONS  
ALPHA BUILDING VENTURES  
LINCOLN CITY, OREGON

No.	DATE	BY

R&C PROJECT NO.  
ABV2101  
DATE 07-12-2021  
DESIGNED A. HERRMANN  
ENGINEER D. REECE  
CHECKED J. WHITE  
SCALE AS INDICATED

SHEET NUMBER  
**2.0**

Reece & Associates, Inc.  
 321 first avenue east, suite 3a  
 albany, oregon 97321  
 phone: 541-926-2428  
 fax: 541-926-2456



RENEWS 12/31/22

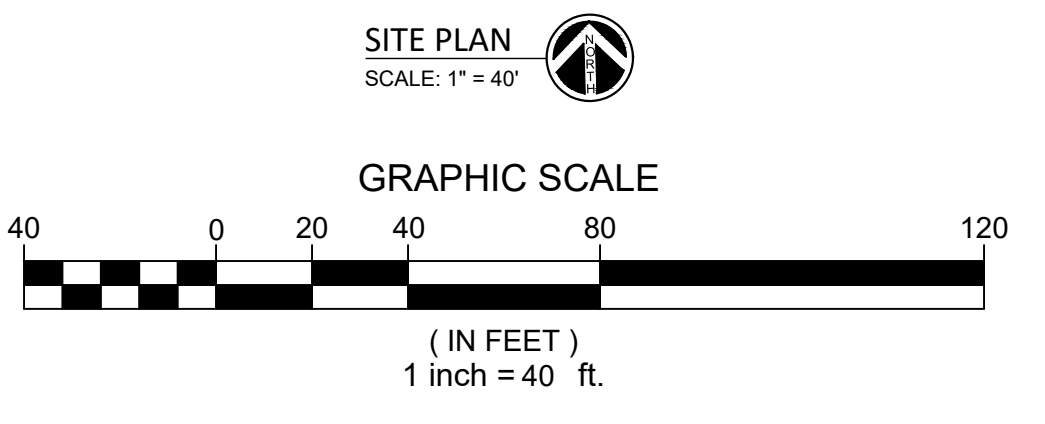
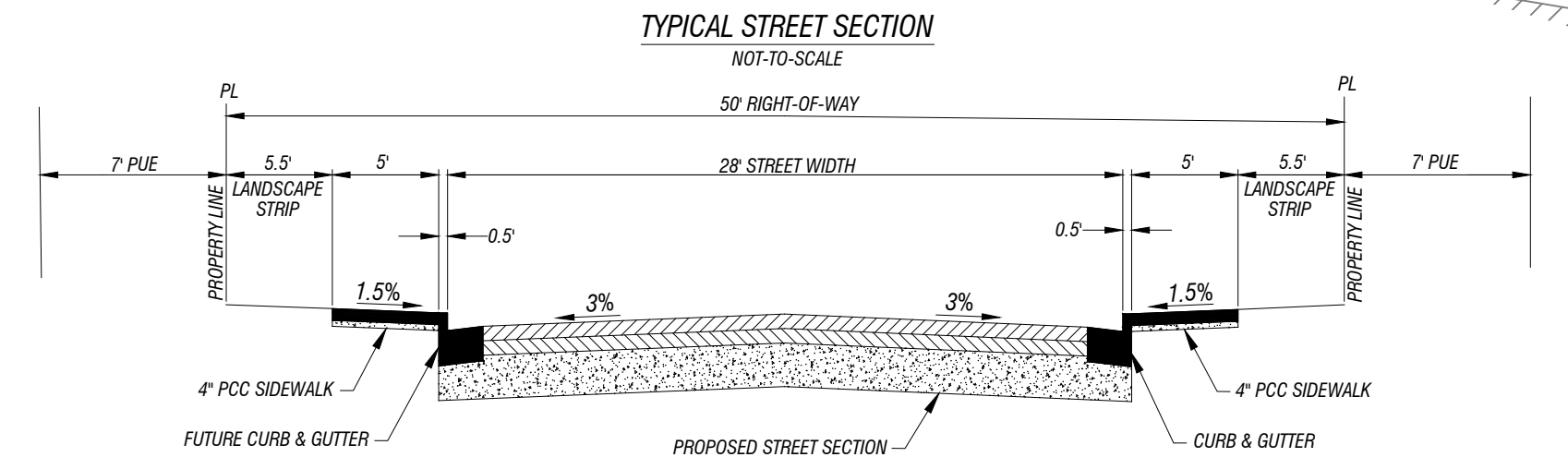
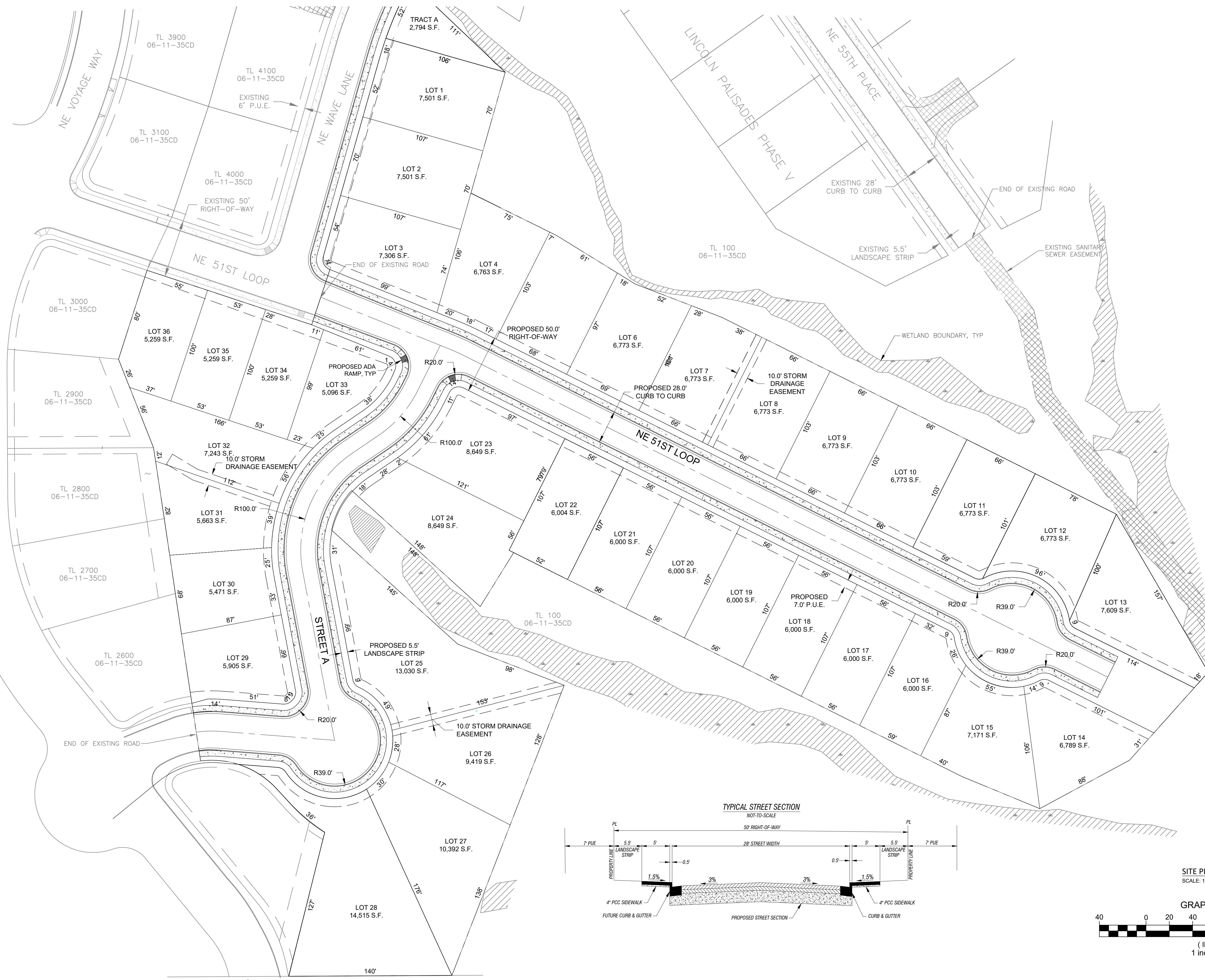
**LINCOLN PALISADES - PHASE VI**  
**STREET LAYOUT**  
 ALPHA BUILDING VENTURES  
 LINCOLN CITY, OREGON

PLAN REVISIONS No.	DATE	BY

R&A PROJECT NO.  
**ABV2101**  
 DATE 07-12-2021  
 DESIGNED A.HERRMANN  
 ENGINEER D. REECE  
 CHECKED J. WHITE  
 SCALE AS INDICATED

SHEET NUMBER

**3.0**





**TREE & LANDSCAPE LEGEND**

- TREE INVENTORY NUMBER FROM ARBORIST
- 1300 REPRESENTATIVE TREE TRUNK DIAMETER
- PROPOSED TREE
- Existing Coniferous Tree (mostly Spruce / Drip As Drawn)
- Existing Tree To Be Removed
- Existing Tree To Be Protected

**NOTES**

- TREES OVER TEN FEET IN HEIGHT COMPRISE THE TREE CANOPY.
- TREES 6" DIAMETER OR MORE DBH ARE NUMBERED.
- TREE INVENTORY BY BUENA VISTA ARBOR CARE.
- NUMBERED TREES FIELD LOCATED BY COLE SURVEYING.
- "X" INDICATES TREES TO BE REMOVED DURING CONSTRUCTION OF STREETS AND UTILITIES. EXACT LIMITS TO BE DETERMINED IN THE FIELD. OTHER TREES MAY BE REMOVED ON A LOT BY LOT BASIS FOR HOME CONSTRUCTION.

Reece & Associates, Inc.  
 321 first avenue east, suite 3a  
 albany oregon 97321  
 phone: 541-926-2428  
 fax: 541-926-2456

PLANNING SERVICES

ENGINEERING SERVICES

RENEWS 12/31/22

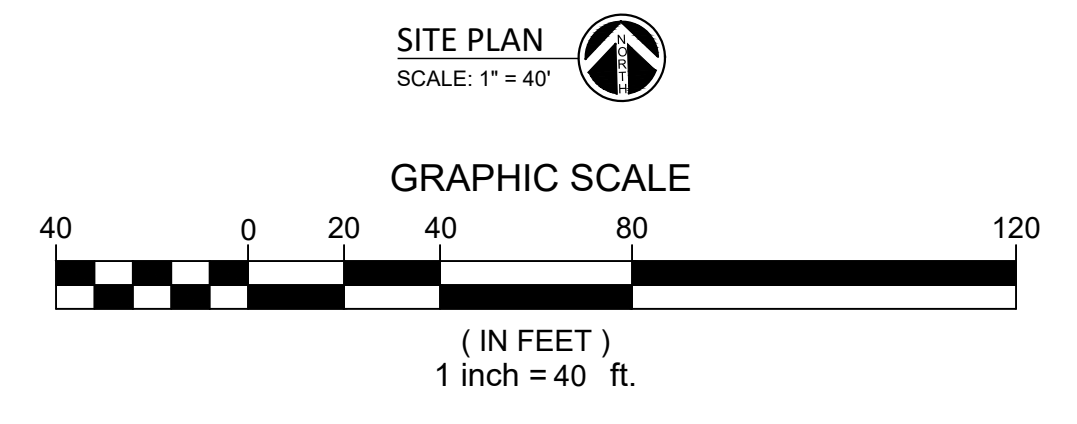
**LINCOLN PALISADES - PHASE VI**  
**PRELIMINARY LANDSCAPE PLAN & TREE INVENTORY**  
 ALPHA BUILDING VENTURES  
 LINCOLN CITY, OREGON

PLAN REVISIONS No.	DATE	BY

R&A PROJECT NO.	ABV2101
DATE	07-12-2021
DESIGNED	A. HERRMANN
ENGINEER	D. REECE
CHECKED	J. WHITE
SCALE	AS INDICATED

SHEET NUMBER

# 3.1



**TREE PRESERVATION PLAN BY BUENA VISTA ARBOR CARE**

THIS TREE PROTECTION PLAN IS WRITTEN TO PROVIDE THE DEVELOPERS WITH A PROACTIVE ATTEMPT AT PRESERVING THE TREES THAT MERIT PRESERVATION ON OR AROUND THEIR DEVELOPMENT. MOST TREES IN THIS REPORT ARE SITKA SPRUCE. WE USED SOME ABBREVIATIONS IN THIS REPORT YOU NEED TO BE FAMILIAR WITH, FOR EXAMPLE, TPF (TREE PROTECTION FENCE) AND TPZ (TREE PROTECTION ZONE). THE TREE PROTECTION FENCE IS THE FENCE THAT IS INSTALLED TO PROTECT EACH TREE OR GROVE OF TREES FOR PRESERVATION. THE TREE PROTECTION ZONE IS THE ENTIRE AREA OF PRESERVATION; NOT JUST ONE INDIVIDUAL TREE, BUT THE ENTIRE RESTRICTED AREA. RESTRICTIONS ENFORCED WITHIN BOTH AREAS. WE ALSO USE REFERENCE TO HAZARD TREE EVALUATION; THIS IS A GUIDE AND STANDARD SET FORTH BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE AND ADOPTED BY CONSULTING ARBORISTS.

**TREE PROTECTION ZONE**

MOST OF THE TREES ARE LOCATED AROUND THE PERIMETER OF THE DEVELOPMENT, WHICH IN MOST CASES WILL BE PROTECTED BY A SINGLE TREE PROTECTION FENCE. THE FENCE IS ESTABLISHED FIVE FEET BEYOND THE TREE'S DRIP LINE, UNLESS OTHERWISE DIRECTED ON-SITE BY THE CONSULTING ARBORIST (SEE DRIP LINE MEASUREMENTS IN THE TREE INVENTORY).

**TREE PROTECTION FENCE**

1. CHAIN LINK/METAL FENCE WITH T POSTS IS THE STANDARD TREE PROTECTION FENCING FOR BUENA VISTA ARBOR CARE CO., INC. PRESERVATION PROJECTS. THE TRADITIONAL ORANGE PLASTIC SAFETY FENCE WILL NOT SUFFICE.
2. ONCE THE TREE PROTECTION ZONE IS ESTABLISHED, NO MACHINERY, CONSTRUCTION, STORAGE, OR GRADE CHANGE IS ALLOWED.
3. THE FENCE IS NOT TO BE MOVED OR TAMPERED WITH, UNLESS APPROVED BY THE PROJECT'S CONSULTING ARBORIST.
4. IF THERE IS NO MEASUREMENT FOR THE TPF, IT IS TO BE 5' OUTSIDE THE TREE'S DRIP LINE.

**RESTRICTIONS**

1. NO DUMPING OF ANY MATERIALS WHERE IT COULD SATURATE THE SOIL WITH THE TREE PROTECTION ZONE(S).
2. NO ADMITTANCE OF ANY KIND INTO THE TREE PROTECTION ZONE(S).
3. NO REMOVING THE FENCE FOR ANY REASON WITHOUT THE CONSULTING ARBORIST PRIOR PERMISSION.
4. CONSULTING ARBORIST NEEDS TO BE NOTIFIED IMMEDIATELY IF THERE IS A VIOLATION, ACCIDENTAL OR OTHERWISE. HE CAN BE REACHED ON HIS CELL @541-990-1773 OR OFFICE 541-757-TREE, M-F 7:00AM-3:00PM. THE PHONE NUMBERS ARE ALSO AVAILABLE ON THE TREE PROTECTION SIGNS.

**PRUNING**

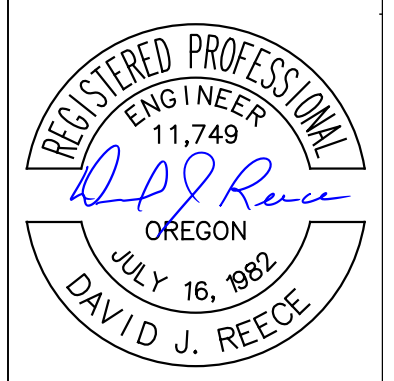
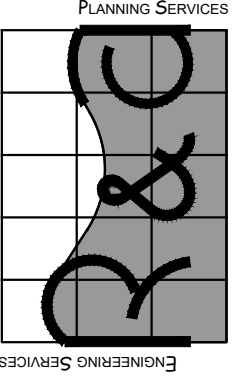
SOME TREES HAVE PRUNING REQUIREMENTS DUE TO EQUIPMENT ACCESS ISSUES. (THESE ARE IDENTIFIED ABOVE.) THESE CUTS NEED TO BE DONE BY A CERTIFIED ARBORIST AND APPROVED BY THE CONSULTING ARBORIST HANDLING THE PRESERVATION. MANY OF THESE TREES COULD USE TIP WEIGHT REDUCTION TO FURTHER IMPROVE PRESERVATION. THIS WOULD REDUCE THE LIKELIHOOD OF BREAKAGES; THINNING AND LARGE DEADWOOD WOULD ALSO HELP WITH PRESERVATION. NO ROOT PRUNING AT THIS POINT IS NECESSARY.

**ARBORIST MONITORING**

IF THE PROJECT'S CONSULTING ARBORIST IS NOT INSTALLING THE TREE PROTECTION FENCE, THE CONSULTING ARBORIST MUST INSPECT THE FENCE BEFORE ANY WORK BEGINS. THE CONSULTING ARBORIST WILL RANDOMLY INSPECT THE SITE FOR VIOLATIONS AND THE PROGRESS OF TREE PRESERVATION THROUGHOUT THE DURATION OF THE PROJECT. IF ANY VIOLATIONS ARE FOUND, DEPENDING ON THE SEVERITY, THE CONSULTING ARBORIST WILL WORK WITH THE CONTRACTOR TO FIND SOLUTIONS. IF THE CONTRACTOR IS FOUND GROSSLY NEGLIGENT OR UNCOOPERATIVE, THE CONSULTING ARBORIST WILL THEN TURN THE VIOLATIONS OVER TO THE CITY OF LINCOLN CITY.

ID	Tag	Species	Height (ft)	DBH (in)	Drip-Line (ft)	Common Name	Notes
1371	D71	Alnus rubra	2	10	10	Red Alder	
1372	D72	Alnus rubra	20	7	8	Red Alder	
1373	D73	Picea sitchensis	70	58	30	Sitka Spruce	splits at base into 2 trunks
1374	D74	Picea sitchensis	60	48	25	Sitka Spruce	
5158		Picea sitchensis		26	20	Sitka Spruce	
5159		Alnus rubra		9	20	Red Alder	

Reece & Associates, Inc.  
321 first avenue east, suite 3a  
albany oregon 97321  
phone: 541-926-2428  
fax: 541-926-2456



RENEWS 12/31/22

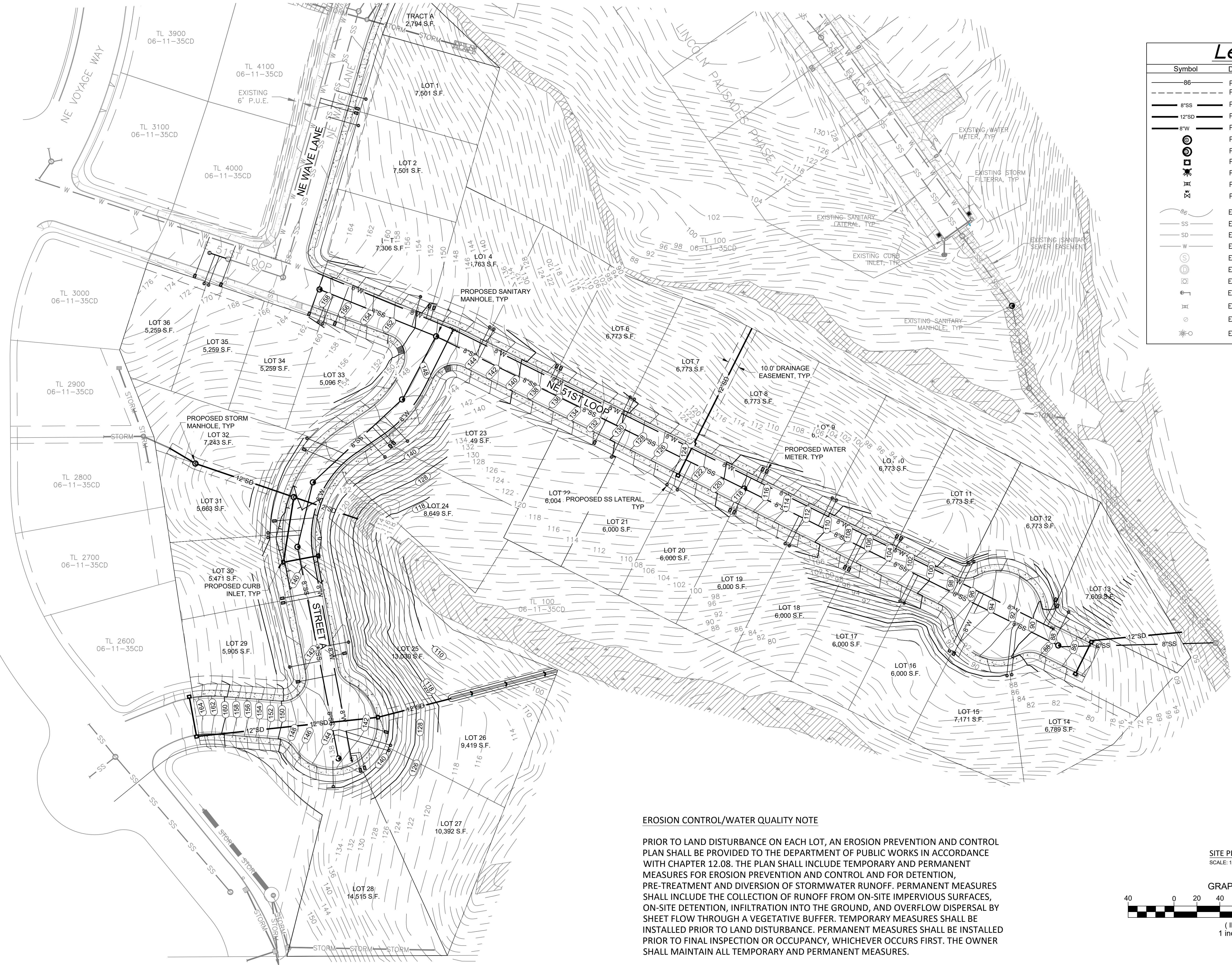
**LINCOLN PALISADES - PHASE VI**  
**PRELIMINARY LANDSCAPE PLAN & TREE INVENTORY NOTES**  
**ALPHA BUILDING VENTURES**  
 LINCOLN CITY, OREGON

PLAN REVISIONS		
No.	DATE	BY

R&A PROJECT NO.  
**ABV2101**

DATE | 07-12-2021  
 DESIGNED | A.HERRMANN  
 ENGINEER | D. REECE  
 CHECKED | J. WHITE  
 SCALE | AS INDICATED

SHEET NUMBER \_\_\_\_\_  
3.2



Symbol	Description
---	Proposed Contour
---	Proposed City Utility Easement
---	Proposed Sanitary Sewer Line
---	Proposed Storm Drain Line
---	Proposed Water Line
⊙	Proposed Sanitary Sewer Manhole
⊙	Proposed Storm Drain Manhole
⊙	Proposed Curb Inlet
⊙	Proposed Fire Hydrant
⊙	Proposed Water Meter
⊙	Proposed Water Valve
---	Existing Contour
---	Existing Sanitary Sewer Line
---	Existing Storm Line
---	Existing Water Line
⊙	Existing Sanitary Sewer Manhole
⊙	Existing Storm Manhole
⊙	Existing Curb Inlet
⊙	Existing Blowoff
⊙	Existing Water Meter
⊙	Existing Water Valve
⊙	Existing Street Light

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 albany, oregon 97321  
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PLANNING SERVICES

ENGINEERING SERVICES

REGISTERED PROFESSIONAL  
 ENGINEER  
 11,749  
 DAVID J. REECE  
 JULY 16, 1982  
 OREGON  
 RENEWS 12/31/22

LINCOLN PALISADES - PHASE VI  
 OVERALL UTILITY PLAN  
 ALPHA BUILDING VENTURES  
 LINCOLN CITY, OREGON

PLAN REVISIONS	DATE	BY
No. 1		

R&A PROJECT NO.  
**ABV2101**

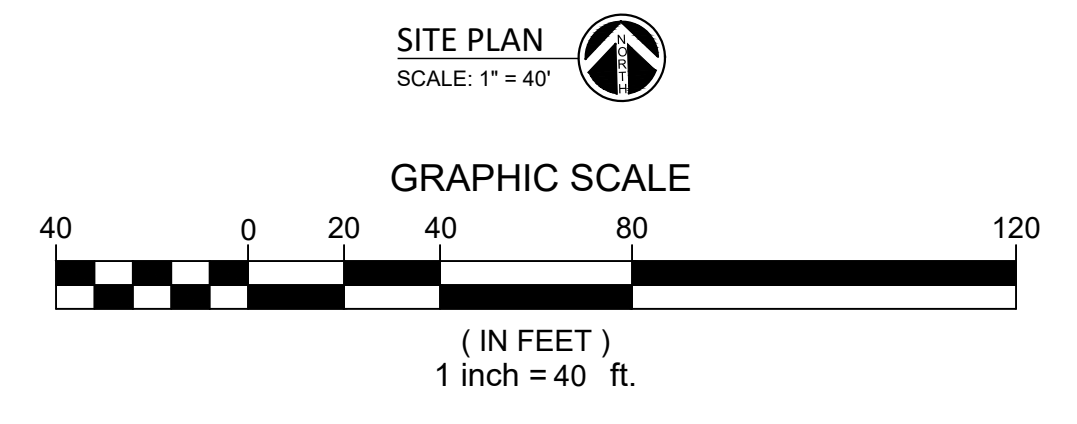
DATE 07-12-2021  
 DESIGNED A.HERRMANN  
 ENGINEER D. REECE  
 CHECKED J. WHITE  
 SCALE AS INDICATED

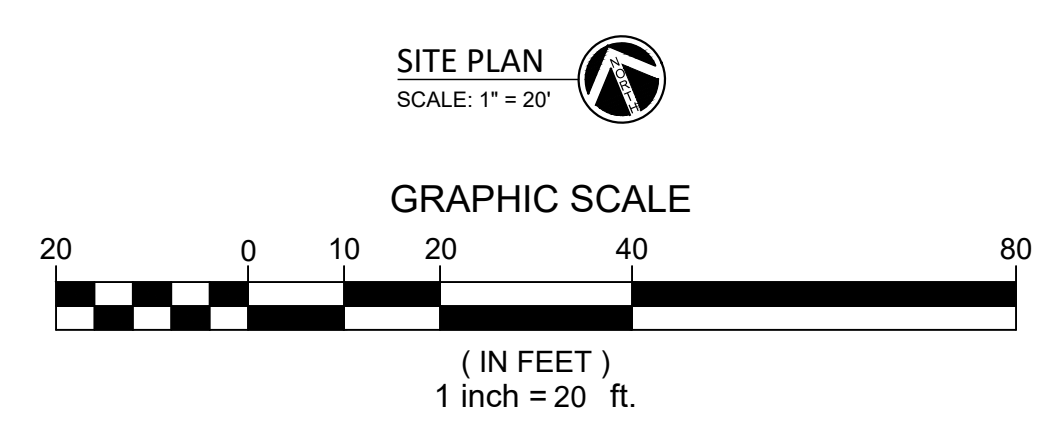
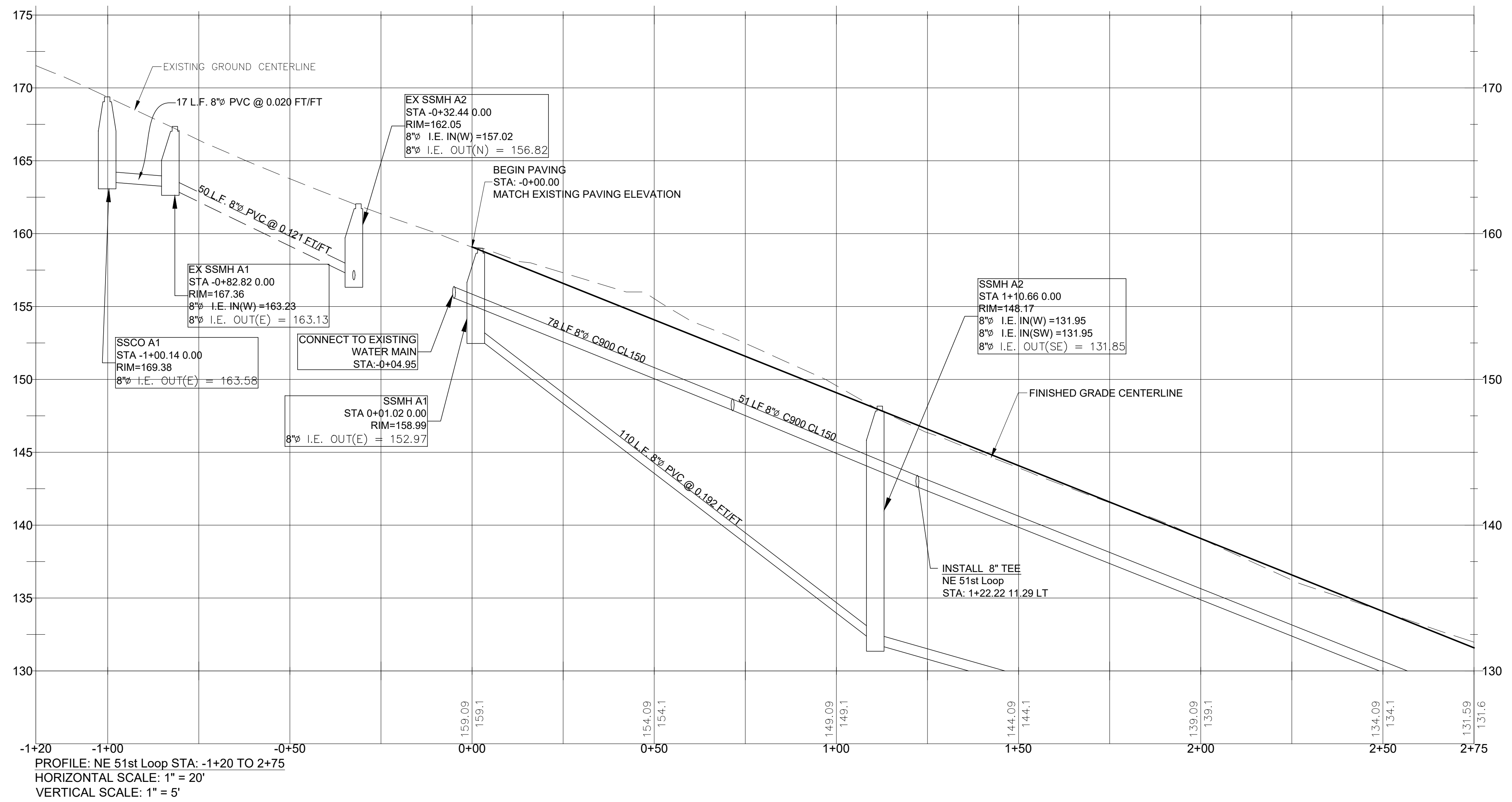
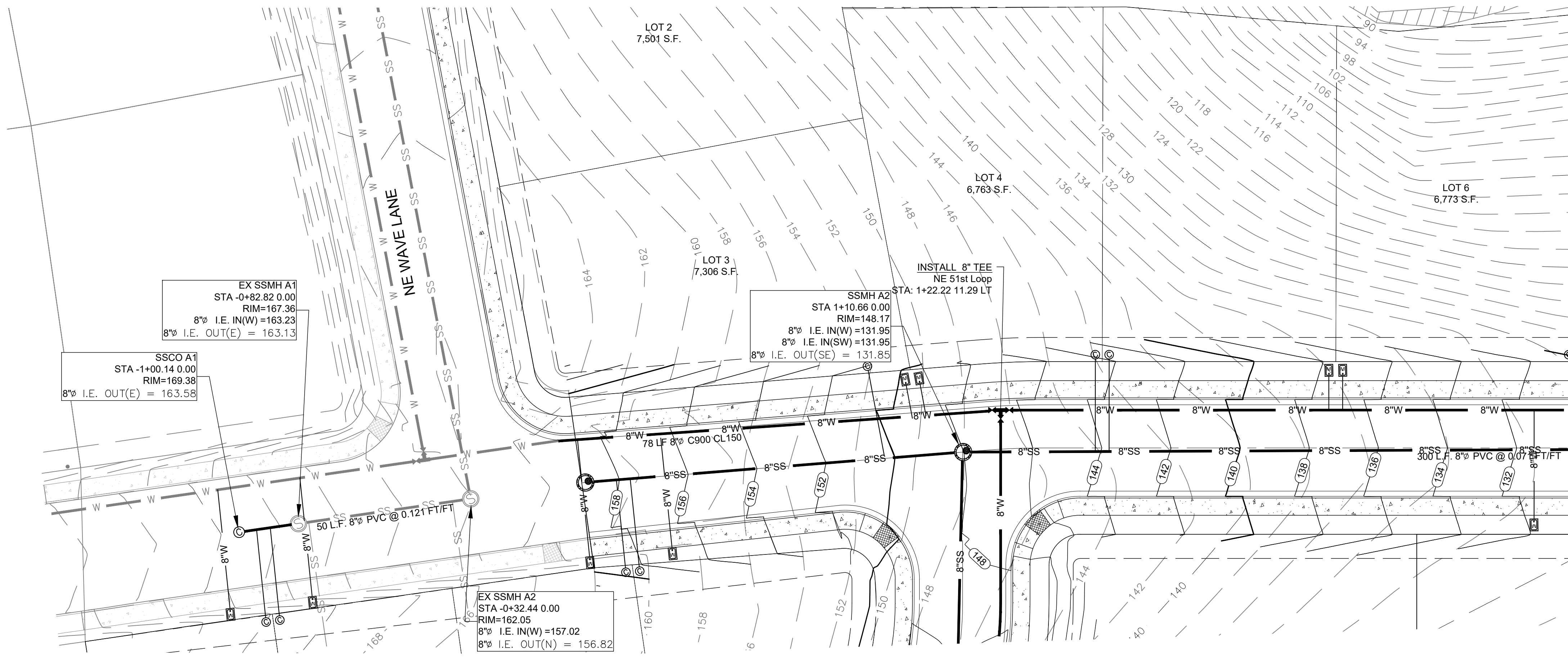
SHEET NUMBER

**4.0**

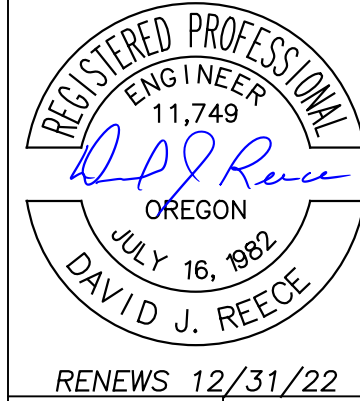
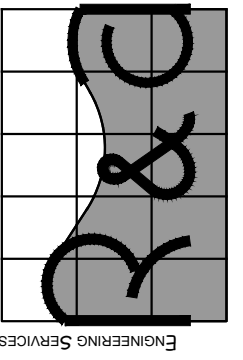
**EROSION CONTROL/WATER QUALITY NOTE**

PRIOR TO LAND DISTURBANCE ON EACH LOT, AN EROSION PREVENTION AND CONTROL PLAN SHALL BE PROVIDED TO THE DEPARTMENT OF PUBLIC WORKS IN ACCORDANCE WITH CHAPTER 12.08. THE PLAN SHALL INCLUDE TEMPORARY AND PERMANENT MEASURES FOR EROSION PREVENTION AND CONTROL AND FOR DETENTION, PRE-TREATMENT AND DIVERSION OF STORMWATER RUNOFF. PERMANENT MEASURES SHALL INCLUDE THE COLLECTION OF RUNOFF FROM ON-SITE IMPERVIOUS SURFACES, ON-SITE DETENTION, INFILTRATION INTO THE GROUND, AND OVERFLOW DISPERSAL BY SHEET FLOW THROUGH A VEGETATIVE BUFFER. TEMPORARY MEASURES SHALL BE INSTALLED PRIOR TO LAND DISTURBANCE. PERMANENT MEASURES SHALL BE INSTALLED PRIOR TO FINAL INSPECTION OR OCCUPANCY, WHICHEVER OCCURS FIRST. THE OWNER SHALL MAINTAIN ALL TEMPORARY AND PERMANENT MEASURES.





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321 first avenue east, suite 3a  
albany, oregon 97321  
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fax: 541-926-2456



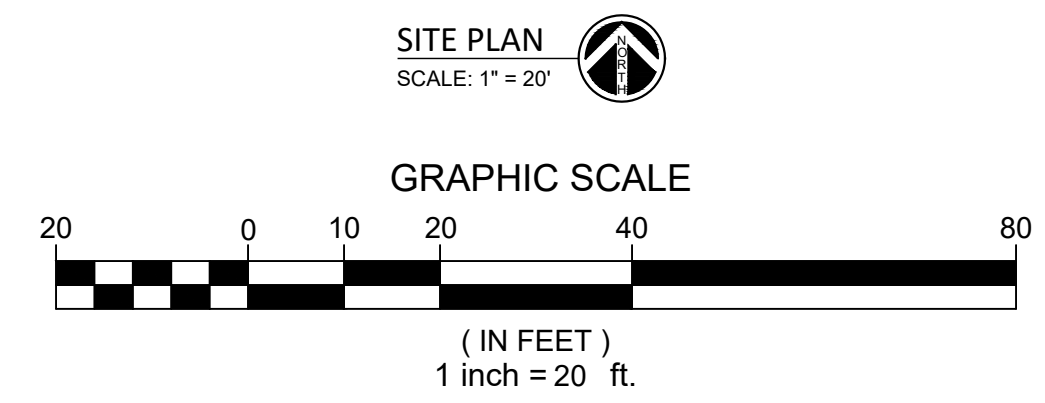
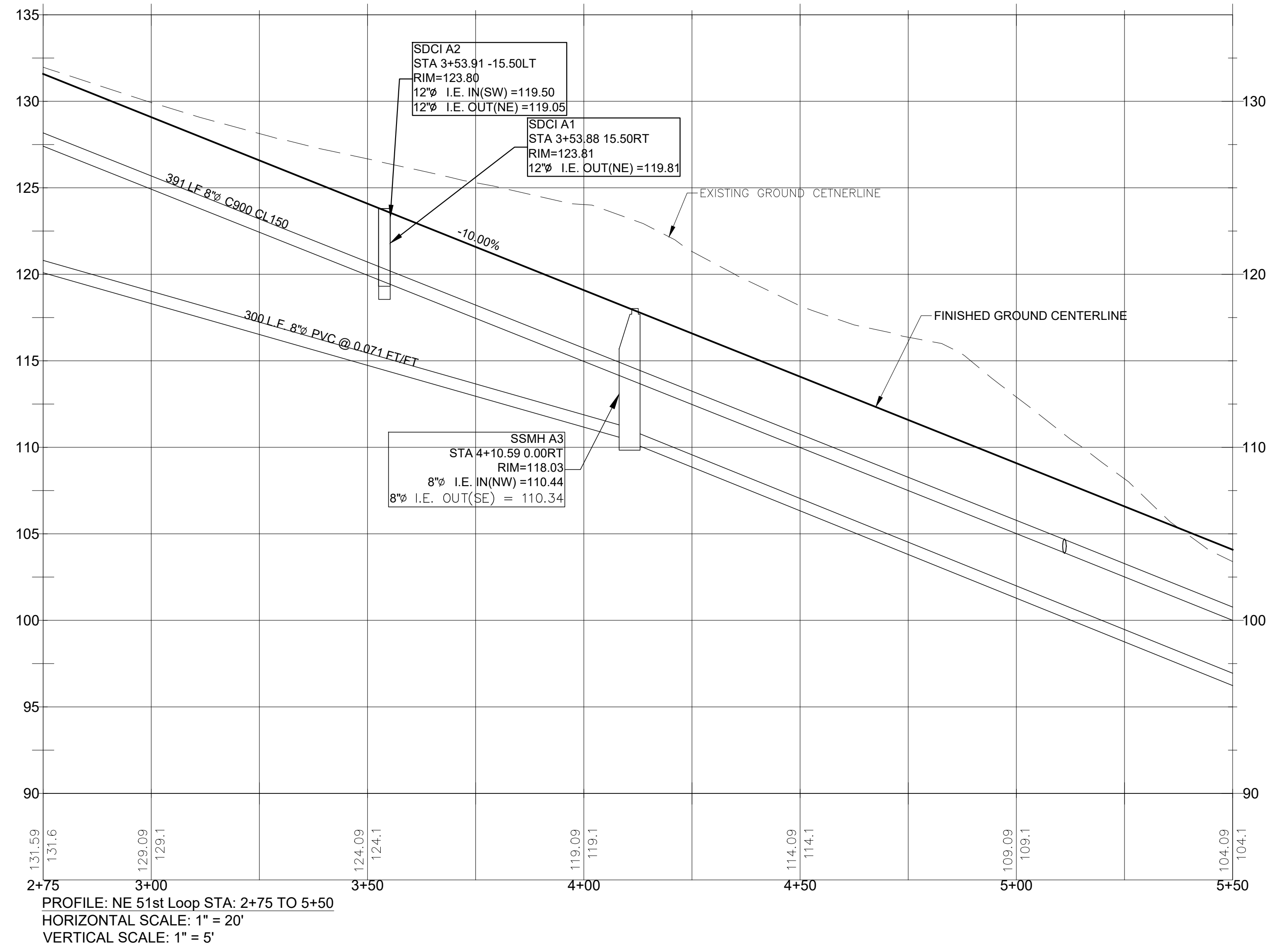
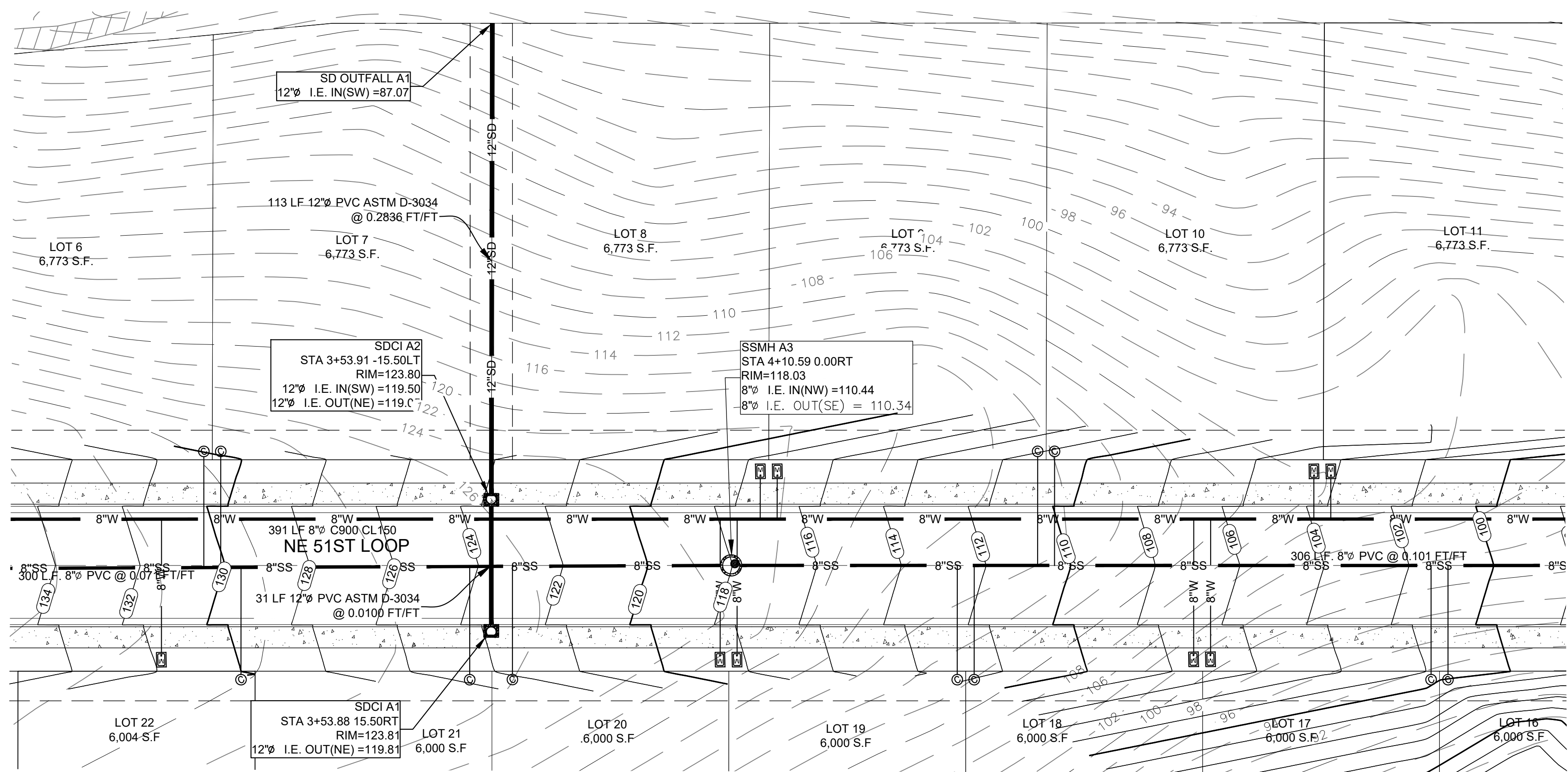
RENEWS 12/31/22

LINCOLN PALISADES - PHASE VI  
NE 51ST LOOP PROFILE - STA -1+20 TO 2+75  
ALPHA BUILDING VENTURES  
LINCOLN CITY, OREGON

PLAN REVISIONS	DATE	BY

R&A PROJECT NO.  
ABV2101  
DATE 07-12-2021  
DESIGNED A.HERRMANN  
ENGINEER D. REECE  
CHECKED J. WHITE  
SCALE AS INDICATED

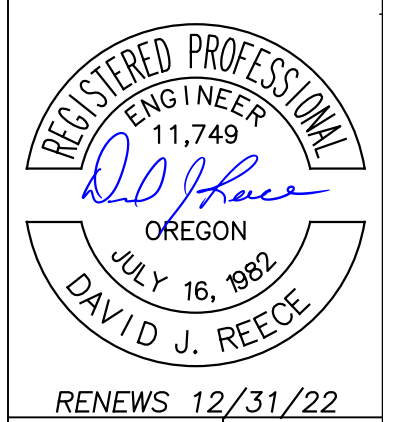
SHEET NUMBER  
**4.1**



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albany, oregon 97321  
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PLANNING SERVICES

ENGINEERING SERVICES



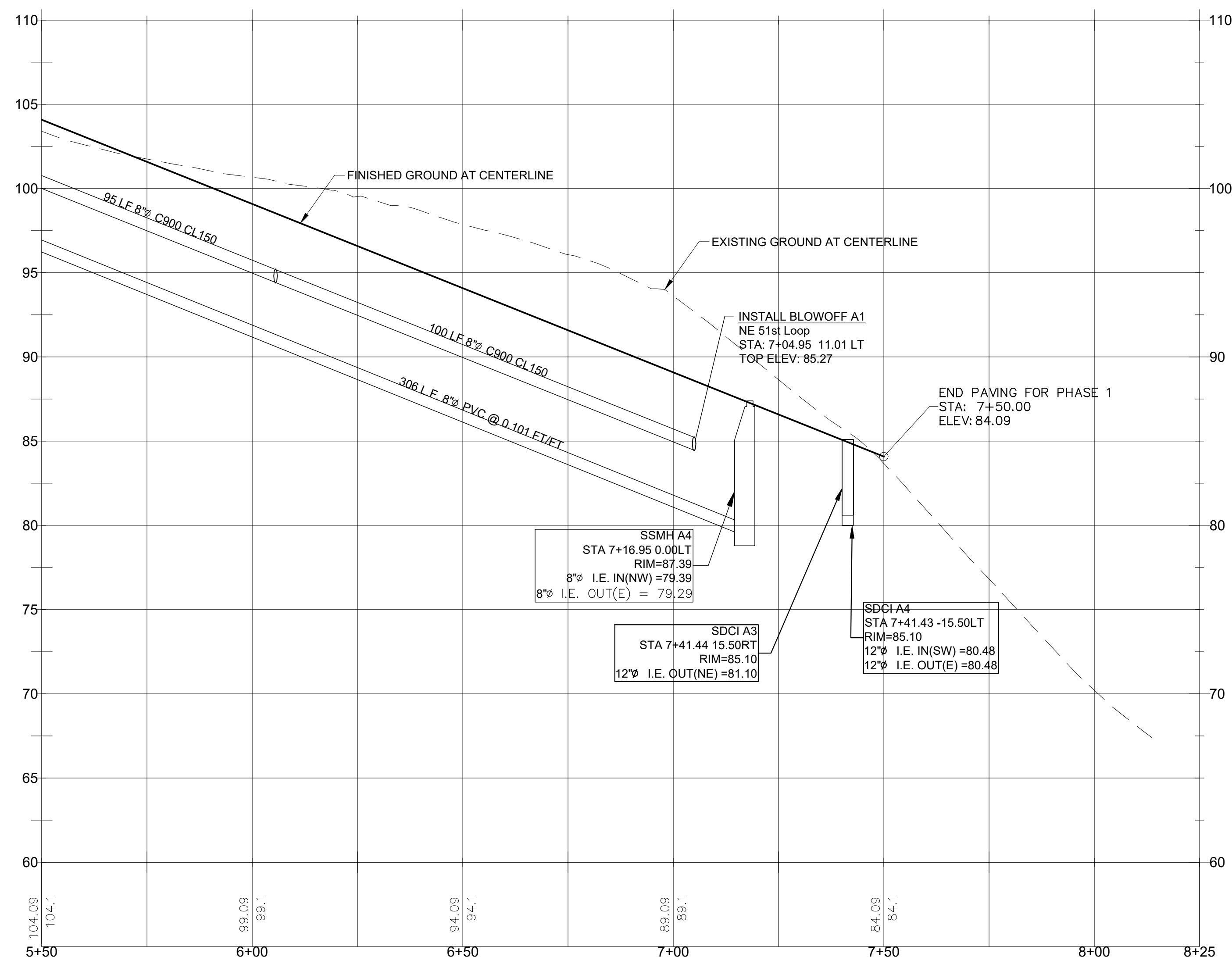
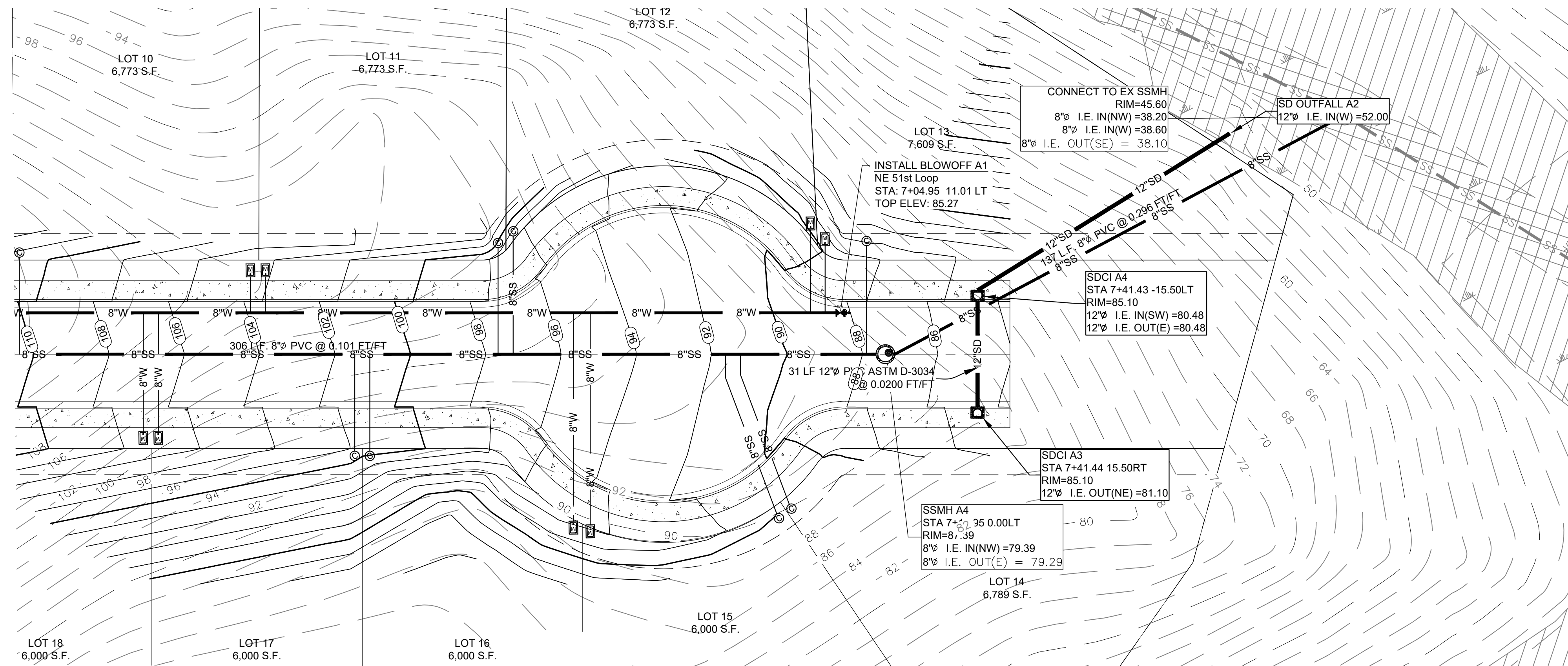
LINCOLN PALISADES - PHASE VI  
NE 51ST LOOP PROFILE - STA 2+75 TO 5+50  
ALPHA BUILDING VENTURES  
LINCOLN CITY, OREGON

PLAN REVISIONS		
No.	DATE	BY

R&A PROJECT NO.  
ABV2101

DATE 07-12-2021  
DESIGNED A.HERRMANN  
ENGINEER D. REECE  
CHECKED J. WHITE  
SCALE AS INDICATED

SHEET NUMBER  
**4.2**



PROFILE: NE 51st Loop STA: 5+50 TO 8+25  
HORIZONTAL SCALE: 1" = 20'  
VERTICAL SCALE: 1" = 5'

SITE PLAN  
SCALE: 1" = 20'

GRAPHIC SCALE

( IN FEET )  
1 inch = 20 ft.

REGISTERED PROFESSIONAL  
ENGINEER  
11,749  
DAVID J. REECE  
JULY 16, 1992  
OREGON  
RENEWS 12/31/22

LINCOLN PALISADES - PHASE VI  
NE 51ST LOOP PROFILE - STA 5+50 - 8+25  
ALPHA BUILDING VENTURES  
LINCOLN CITY, OREGON

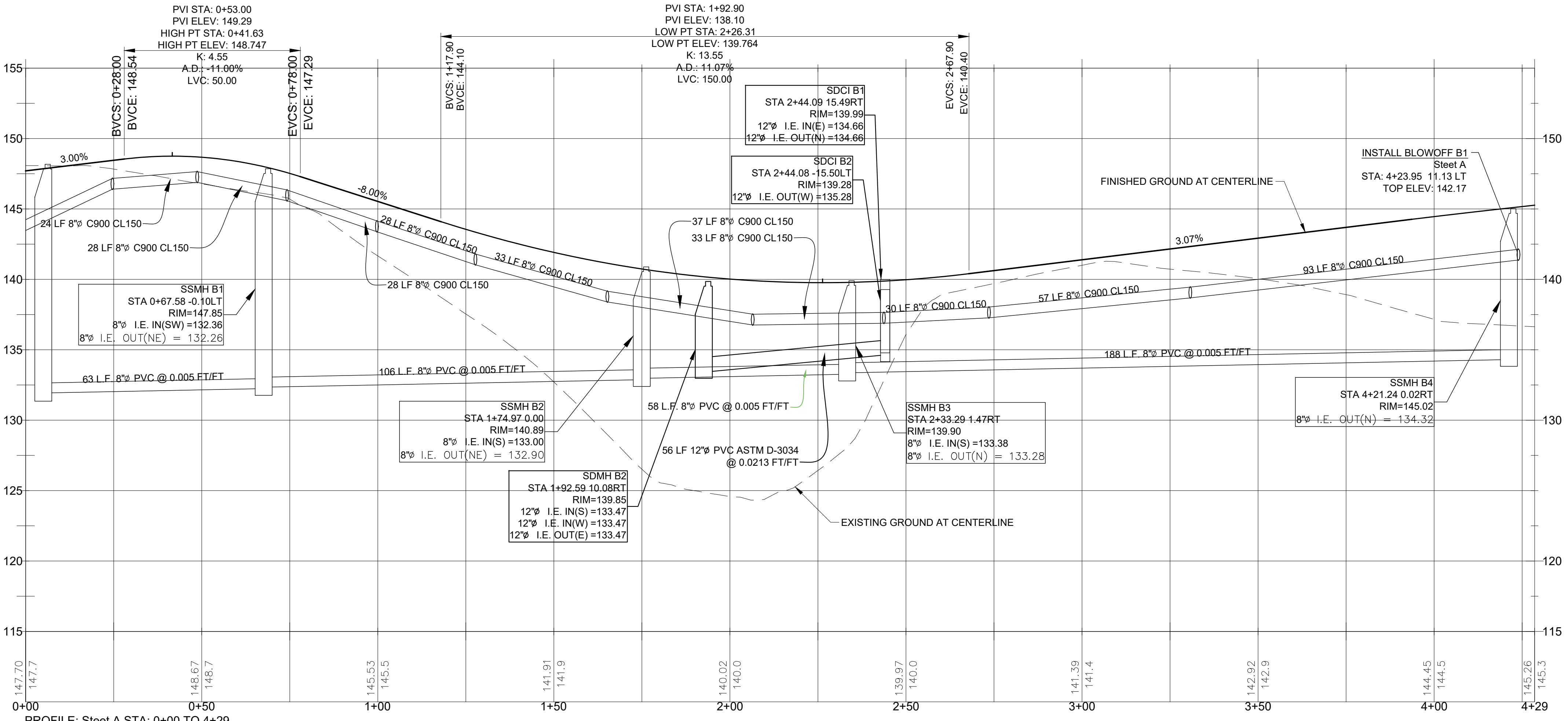
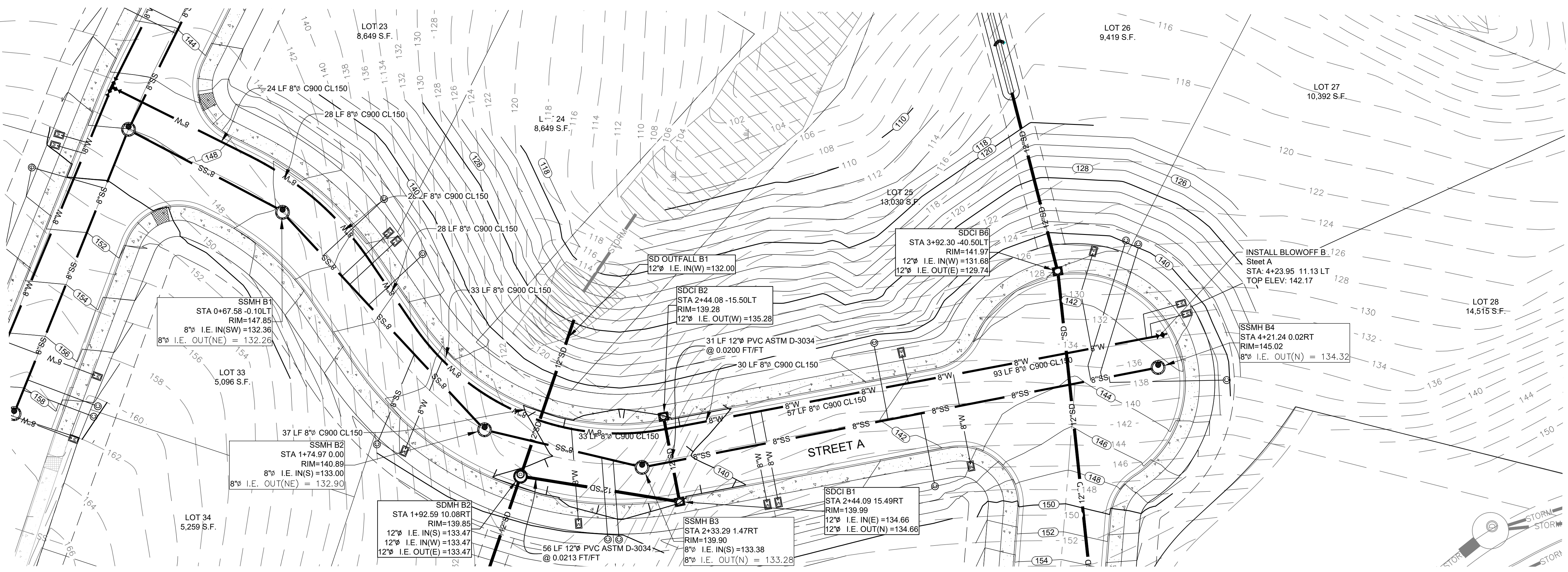
PLAN REVISIONS No.	DATE	BY

R&A PROJECT NO.  
ABV2101

DATE	07-12-2021
DESIGNED	A. HERRMANN
ENGINEER	D. REECE
CHECKED	J. WHITE
SCALE	AS INDICATED

SHEET NUMBER

**4.3**



PROFILE: Street A STA: 0+00 TO 4+29  
 HORIZONTAL SCALE: 1" = 20'  
 VERTICAL SCALE: 1" = 5'

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 321 first avenue east, suite 3a  
 albany oregon 97321  
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 fax: 541-926-2456

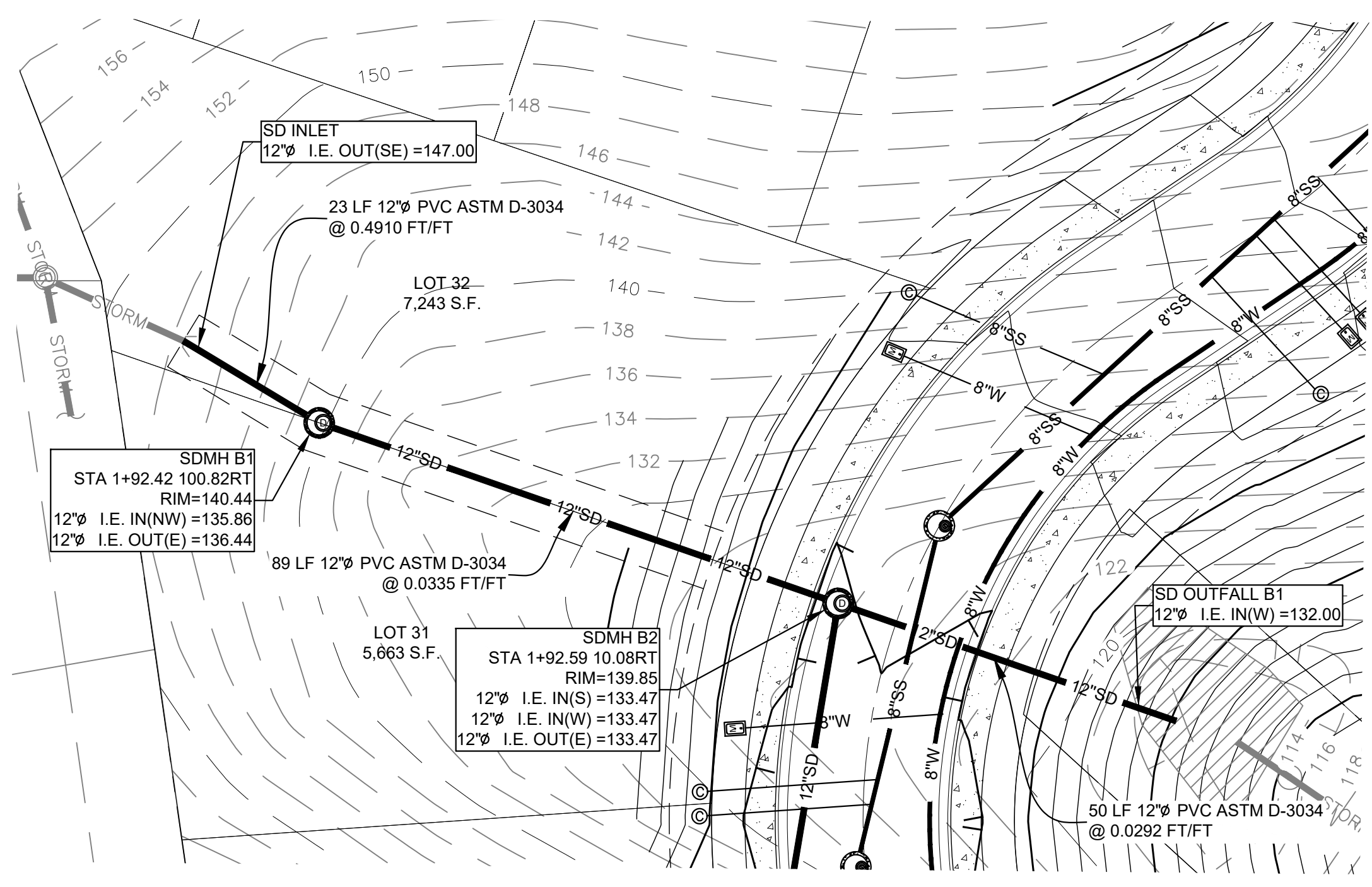
REGISTERED PROFESSIONAL  
 ENGINEER  
 11,749  
*David J. Reece*  
 OREGON  
 JULY 16, 1992  
 DAVID J. REECE  
 RENEWS 12/31/22

LINCOLN PALISADES - PHASE VI  
 STREET A PLAN & PROFILE  
 ALPHA BUILDING VENTURES  
 LINCOLN CITY, OREGON

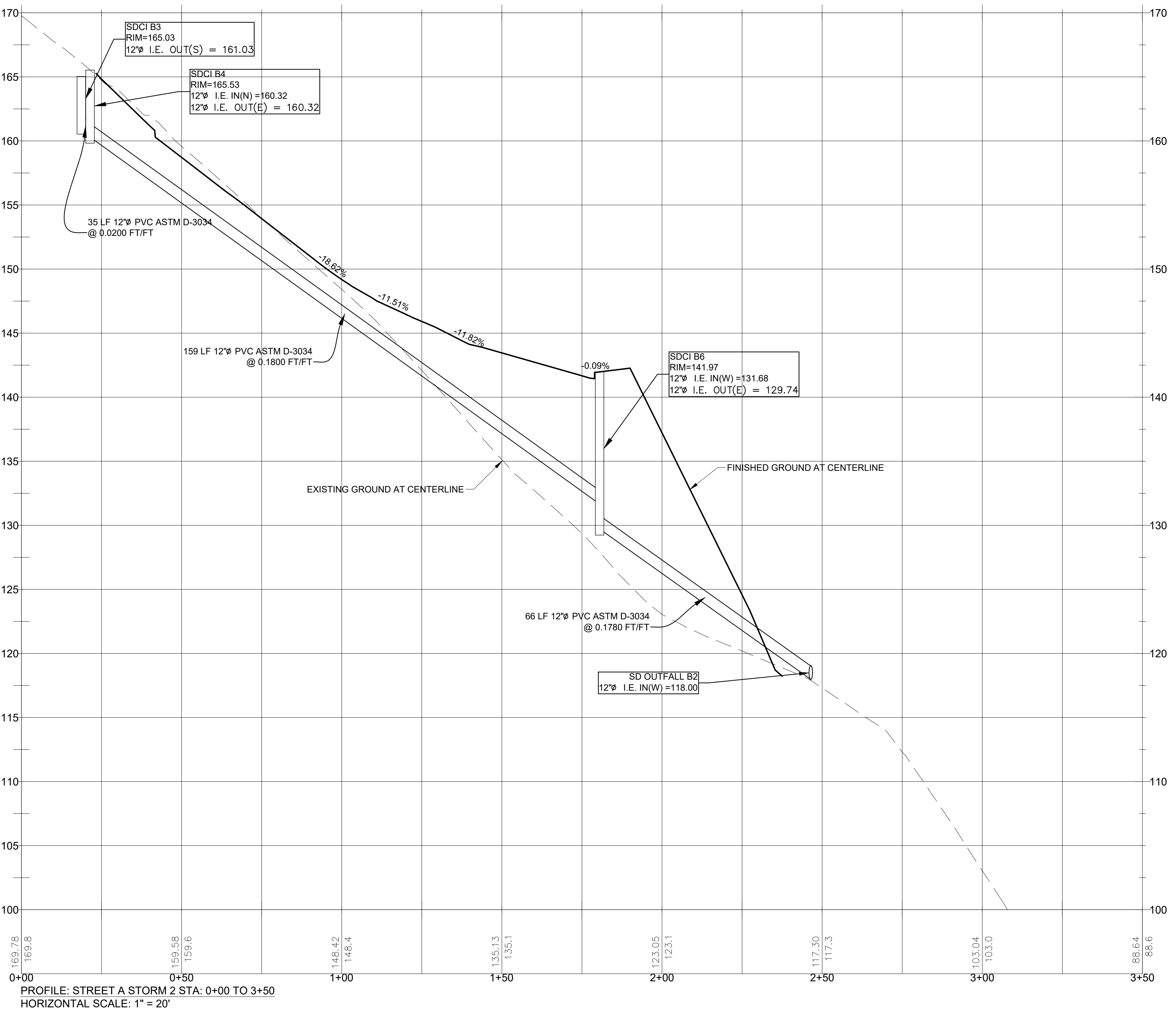
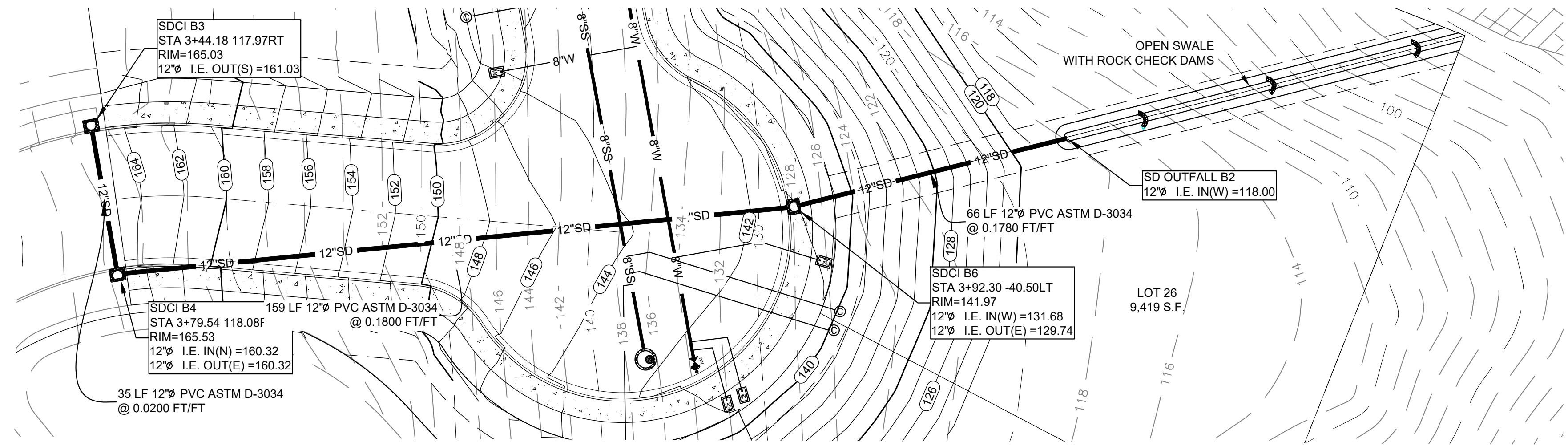
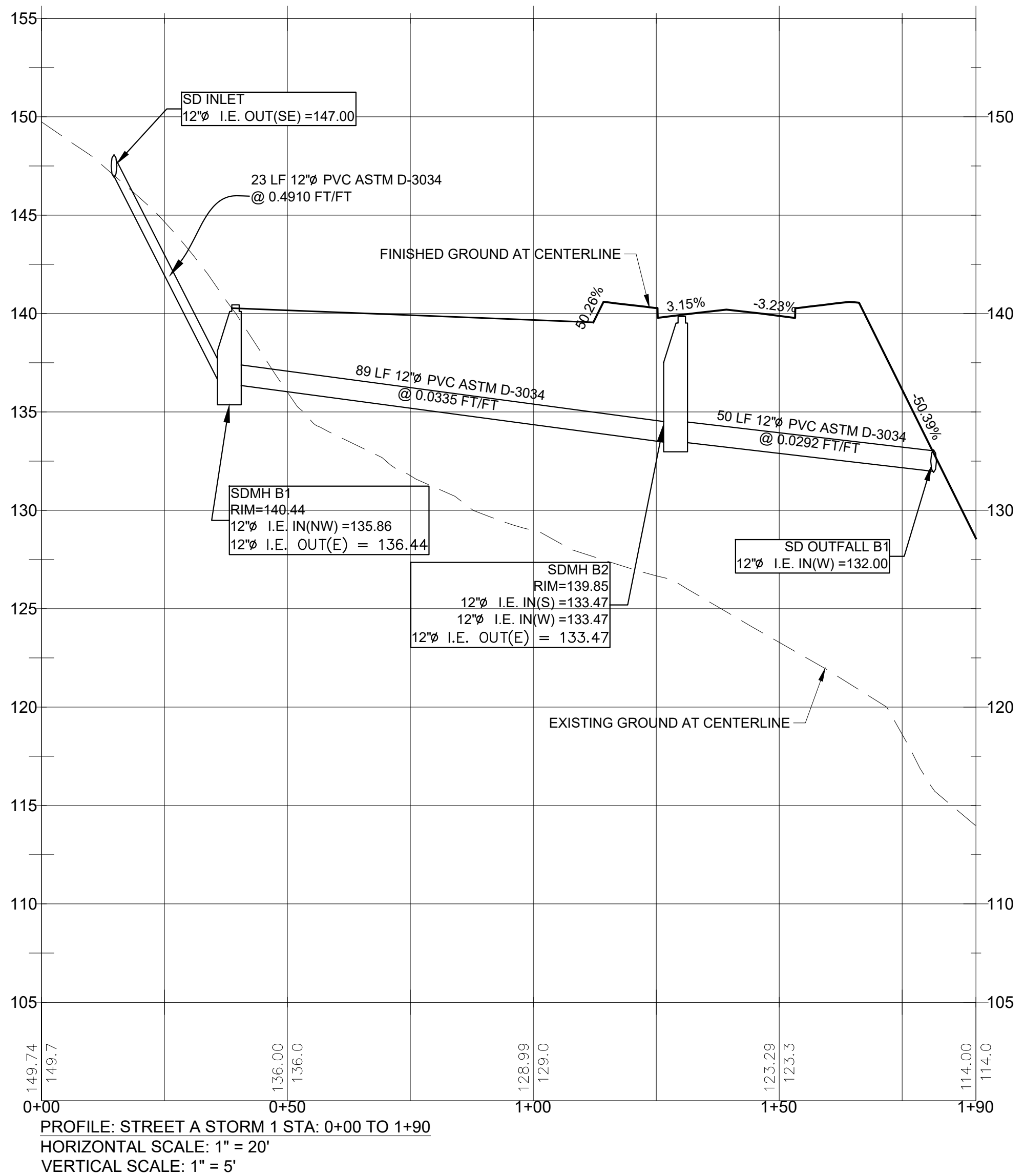
PLAN REVISIONS		
No.	DATE	BY

R&A PROJECT NO.  
**ABV2101**  
 DATE 07-12-2021  
 DESIGNED A.HERRMANN  
 ENGINEER D. REECE  
 CHECKED J. WHITE  
 SCALE AS INDICATED

SHEET NUMBER  
**4.4**



**SITE PLAN**  
SCALE: 1" = 20'



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albany, oregon 97321  
phone: 541-926-2428  
fax: 541-926-2456

PLANNING SERVICES  
ENGINEERING SERVICES

REGISTERED PROFESSIONAL  
ENGINEER  
11,749  
*DAVID J. REECE*  
OREGON  
JULY 16, 1992  
DAVID J. REECE

RENEWS 12/31/22

**LINCOLN PALISADES - PHASE VI**  
**STREET A STORM PLAN AND PROFILE**  
ALPHA BUILDING VENTURES  
LINCOLN CITY, OREGON

PLAN REVISIONS		
No.	DATE	BY

R&A PROJECT NO.  
**ABV2101**

DATE 07-12-2021  
DESIGNED A.HERRMANN  
ENGINEER D.REECE  
CHECKED J.WHITE  
SCALE AS INDICATED

SHEET NUMBER \_\_\_\_\_

4.5

Packet Pg. 100

# REECE & ASSOCIATES, Inc.

## Tree Tagging Report

Alpha Building Ventures

**Lincoln Palisades**

**DATE: August 28, 2013**



**Prepared for:**

Rich Catlin  
Reece & Associates  
321 1<sup>st</sup> Ave E, Suite 3a  
Albany, OR 97321

**Prepared by:**

Priscilla C. Esplin, Consulting Arborist  
ISA Certified Arborist #PN-6820  
ISA Consulting Arborist Member  
Buena Vista Arbor Care Co., Inc  
6635 Prather Road  
Independence, OR 97351

Vernon L. Esplin, Senior Consulting Arborist  
ISA Certified Arborist #PN-0448  
ISA Certified Tree Risk Assessor  
ISA Lifetime Member  
ISA Consulting Arborist Member  
ISA Commercial Arborist Member  
ASCA Member, Consulting Arborist  
Buena Vista Arbor Care Co., Inc.  
6635 Prather Road  
Independence, OR 97351

**PLEASE STOP AND READ.**

When you use this report to obtain a permit of any kind from any agency you agree to all the tree protection plan provisions within this report. It is the responsibility of my client to fully understand its contents. Please contact our office if you have any questions.





## Buena Vista Arbor Care Co., Inc.

*and Consulting Services*

Mr. Catlin,

You contacted Buena Vista ARBOR CARE COMPANY requesting a quote for the consulting on Lincoln Palisades. You then hired our company to provide a tree inventory and numbering plan as well as tree preservation plans in the future.

Consulting Arborist, Vernon Esplin, visited the site on several occasions numbering and measuring some 1476 trees (attached). Each of the trees in the project is over six inches or more in diameter at breast height and numbered with orange tags at eye level. Each tag correlates with the DBH, species, canopy spread and height. The location of each tree will be provided by the survey company with GIS documentation. This report has been made available to them for this purpose.

I toured the project but found more information was needed to provide a tree preservation plan. I will need the exact center line of the road and the potential location of each lot with the building foot prints. This and other information will be needed to provide tree preservation plans for the project in the future.

Unfortunately, there are no trees on this project that are historical in age or species that would require my recommendation with 100% of certainty to preserve. There are trees that merit preservation, but these trees should be looked at on a tree by tree basis once building foot prints are established. Most of these trees are growing normal for their health, age, species and growing conditions.

If you have any questions please feel free to call me at 541-990-1773.

A handwritten signature in blue ink, appearing to read "Vernon L. Esplin", with a long horizontal flourish extending to the right.

Vernon L. Esplin, Senior Consulting Arborist  
ISA Certified Arborist #PN-0448  
ISA Certified Tree Risk Assessor  
ISA Lifetime Member  
ISA Consulting Arborist Member  
ISA Commercial Arborist Member  
ASCA Member, Consulting Arborist

**Limits of liability**

1. Any legal description provided to the consultant/appraiser is assumed to be correct. Any titles and ownership to any property are assumed to be good and marketable. No responsibility is assumed for matters legal in character. Any and all property is appraised or evaluated as though free and clear under ownership and competent management.
2. Care has been taken to obtain all information from reliable sources. All data has been verified insofar as possible; however, the consultant/appraiser can neither guarantee nor be responsible for the accuracy of information provided by others.
3. The consultant/appraiser shall not be required to give testimonies or attend court by reason of this report unless subsequent contractual arrangements are made, including payments of additional fee for services as described in the fee schedule and contract of engagement.
4. Loss or alteration of any part of this report invalidates the entire report.
5. Possession of this report or a copy therefore does not imply the right of publication or use for any purpose by any other person to whom it is assessed, without the prior expressed or written or verbal consent of the consultant/appraiser.
6. Neither all nor any part of the contents of this report, nor copy thereof, shall be conveyed by anyone, including the client, to the public through advertising, public relations, news, sales or other media, without the prior expressed or written or verbal consent of the consultant/appraiser particularly as to value conclusions, identity of the consultant/appraiser, or any reference to any professional society or institute or to any initial designation conferred upon the consultant/appraiser as stated in his/hers qualification.
7. This report and values expressed herein represent the opinion of the consultant/appraiser, and the consultant/appraiser's fee is in no way contingent upon the reporting of a specified value, a stipulated result, the occurrence of a subsequent event, nor upon any finding to be reported.
8. Sketches, diagrams, graphs, and photographs in this report, being intended as visual aids, are not necessarily to scale and should not be construed as engineering or architectural reports of surveys.
9. Unless expressed otherwise: (1) information contained in this report covers only the items that were examined and reflects the condition of those items at the time of the inspection; and (2) the inspection is limited to visual examination of accessible items without dissection, excavating, probing, or coring. There is no warranty or guarantee, expressed or implied, that covers problems or deficiencies of the plants property in question may not arise in the future.

Certification of performance

I, Vernon L. Esplin, certify that:

- I have personally inspected the trees and the property referred to in this report and have stated my findings accurately. The extent of the evaluation or appraisal is stated in the attached report and the terms of assignment.
- I have no current or prospective interest in the vegetation or the property that is the subject of this report and have no personal interest or bias with respect to the parties involved.
- The analysis, opinions, and conclusions stated herein are my own and are based on current scientific procedures and facts.
- My analysis, opinions, and conclusions were developed and this report has been prepared according to commonly accepted arboricultural practices.
- Vernon L. Esplin, Senior Consulting Arborist, Buena Vista Arbor Care Co., Inc. supervised and provided significant professional assistance to me.
- My report is not contingent upon the reporting of the predetermined conclusion that favors the cause of the client or any other party nor upon the results of the assessment, the attainment of stipulated results, or the occurrence of any subsequent events.

I further certify that I am an ISA Certified Arborist and member in good standing of the International Society of Arboriculture. I have been involved in the field of Arboriculture in full-time capacity for a period of 18 years.

Signed: .....

Date: .....

2/14/14

Lincoln Palisades PUD Tree Inventory, Buena Vista Arbor Care, Page 1 of 31

ID	Tag	Species	Height (Ft)	DBH (In)	Drip-Line (Ft)	Common Name	Notes
1	1	Picea sitchensis	120	58	40	Sitka Spruce	Unique large tree growing normal, merits preservation. Off site
2	2	Alnus rubra	70-90	8½	5-10	Red Alder	Off site
3	3	Alnus rubra	70-90	11½	5-10	Red Alder	Off site
4	4	Alnus rubra	70-90	7	5-10	Red Alder	Off site
5	5	Alnus rubra	70-90	7½	5-10	Red Alder	Off site
6	6	Alnus rubra	70-90	9	5-10	Red Alder	Off site
7	7	Alnus rubra	70-90	8	5-10	Red Alder	Off site
8	8	Alnus rubra	70-90	11	5-10	Red Alder	Off site
9	9	Alnus rubra	70-90	7	5-10	Red Alder	Off site
10	10	Alnus rubra	70-90	7	5-10	Red Alder	Off site
11	11	Alnus rubra	70-90	9½	5-10	Red Alder	Off site
12	12	Alnus rubra	70-90	10	5-10	Red Alder	Off site
13	13	Alnus rubra	70-90	11	5-10	Red Alder	
14	14	Alnus rubra	70-90	8	5-10	Red Alder	Off site
15	15	Alnus rubra	70-90	13½	5-10	Red Alder	Off site
16	16	Alnus rubra	70-90	7½	5-10	Red Alder	Off site
17	17	Alnus rubra	70-90	7½	5-10	Red Alder	Off site
18	18	Alnus rubra	70-90	8	5-10	Red Alder	Off site
19	19	Alnus rubra	70-90	11	5-10	Red Alder	Off site
20	20	Alnus rubra	70-90	11	5-10	Red Alder	Off site
21	21	Alnus rubra	70-90	11	5-10	Red Alder	Off site
22	22	Alnus rubra	70-90	8	5-10	Red Alder	Off site
23	23	Alnus rubra	70-90	9½	5-10	Red Alder	
24	24	Alnus rubra	70-90	13½	5-10	Red Alder	
25	25	Alnus rubra	70-90	7½	5-10	Red Alder	
26	26	Alnus rubra	70-90	12½	5-10	Red Alder	
27	27	Alnus rubra	70-90	7½	5-10	Red Alder	
28	28	Alnus rubra	70-90	9	5-10	Red Alder	
29	29	Alnus rubra	70-90	10½	5-10	Red Alder	
30	30	Alnus rubra	70-90	10	5-10	Red Alder	
31	31	Alnus rubra	70-90	19	5-10	Red Alder	Off site
32	32	Alnus rubra	70-90	8	5-10	Red Alder	Off site
33	33	Alnus rubra	70-90	12	5-10	Red Alder	Off site
34	34	Alnus rubra	70-90	9	5-10	Red Alder	Off site
35	35	Alnus rubra	70-90	9½	5-10	Red Alder	Off site
36	36	Alnus rubra	70-90	7	5-10	Red Alder	Off site
37	37	Alnus rubra	70-90	7½	5-10	Red Alder	Off site
38	38	Alnus rubra	70-90	10	5-10	Red Alder	
39	39	Alnus rubra	70-90	10	5-10	Red Alder	
40	40	Alnus rubra	70-90	9	5-10	Red Alder	
41	41	Alnus rubra	70-90	7½	5-10	Red Alder	
42	42	Alnus rubra	70-90	13½	5-10	Red Alder	
43	43	Alnus rubra	70-90	8	5-10	Red Alder	
44	44	Alnus rubra	70-90	9½	5-10	Red Alder	
45	45	Alnus rubra	70-90	7½	5-10	Red Alder	
46	46	Alnus rubra	70-90	8	5-10	Red Alder	
47	47	Alnus rubra	70-90	9	5-10	Red Alder	
48	48	Alnus rubra	70-90	8	5-10	Red Alder	
49	49	Alnus rubra	70-90	11½	5-10	Red Alder	
50	50	Alnus rubra	70-90	8½	5-10	Red Alder	

## Lincoln Palisades PUD Tree Inventory, Buena Vista Arbor Care, Page 2 of 31

ID	Tag	Species	Height (Ft)	DBH (In)	Drip-Line (Ft)	Common Name	Notes
51	51	Alnus rubra	70-90	8	5-10	Red Alder	Off site
52	52	Alnus rubra	70-90	6½	5-10	Red Alder	Off site
53	53	Alnus rubra	70-90	7½	5-10	Red Alder	
54	54	Alnus rubra	70-90	12	20	Red Alder	
55	55	Alnus rubra	70-90	7	5-10	Red Alder	
56	56	Pseudotsuga menziesii	100	23	5-10	Douglas fir	
57	57	Alnus rubra	70-90	8	5-10	Red Alder	
58	58	Alnus rubra	70-90	10½	5-10	Red Alder	
59	59	Alnus rubra	70-90	12	5-10	Red Alder	
60	60	Alnus rubra	70-90	8	5-10	Red Alder	
61	61	Alnus rubra	70-90	7	5-10	Red Alder	
62	62	Alnus rubra	70-90	8½	5-10	Red Alder	
63	63	Alnus rubra	70-90	7	5-10	Red Alder	Dead
64	64	Alnus rubra	70-90	13½	5-10	Red Alder	
65	65	Alnus rubra	70-90	14	5-10	Red Alder	
66	66	Alnus rubra	70-90	9½	5-10	Red Alder	
67	67	Alnus rubra	70-90	14	5-10	Red Alder	
68	68	Alnus rubra	70-90	8½	5-10	Red Alder	
69	69	Alnus rubra	70-90	8½	5-10	Red Alder	
70	70	Alnus rubra	70-90	6½	5-10	Red Alder	
71	71	Alnus rubra	70-90	6½	5-10	Red Alder	Off site
72	72	Alnus rubra	70-90	8	5-10	Red Alder	
73	73	Alnus rubra	70-90	6½	5-10	Red Alder	
74	74	Picea sitchensis		26		Sitka Spruce	
75	75	Picea sitchensis	120	46	60	Sitka Spruce	Growing normal
76	76	Picea sitchensis	130	67	60	Sitka Spruce	Codominant. Off site
77	77	Picea sitchensis	90	30	10-30	Sitka Spruce	
78	78	Picea sitchensis	90	35	10-30	Sitka Spruce	
79	79	Picea sitchensis	70	10½	>5	Sitka Spruce	
80	80	Picea sitchensis	90	27	10	Sitka Spruce	
81	81	Picea sitchensis	65	11	>5	Sitka Spruce	
82	82	Picea sitchensis	90	28½	10-30	Sitka Spruce	
83	83	Picea sitchensis	90	27½	10-30	Sitka Spruce	
84	84	Picea sitchensis	90	26½	10-30	Sitka Spruce	
85	85	Picea sitchensis	60	12	>5	Sitka Spruce	
86	86	Picea sitchensis	55	11½	NA	Sitka Spruce	
87	87	Picea sitchensis	90	37	10-20	Sitka Spruce	2 trees growing together
88	88	Picea sitchensis	90	21	10-20	Sitka Spruce	
89	89	Picea sitchensis	90	18	10-20	Sitka Spruce	
90	90	Alnus rubra	70	40	45	Red Alder	3 stemmed
91	91	Picea sitchensis	110	52	40-50	Sitka Spruce	Unique base, large. Off site
92	92	Alnus rubra	70	24	25	Red Alder	2 stemmed
93	93	Picea sitchensis	90	31½		Sitka Spruce	
94	94	Pseudotsuga menziesii	90	15½	5-10	Douglas fir	
95	95	Picea sitchensis	90	26	5-10	Sitka Spruce	
96	96	Picea sitchensis	90	21	10-15	Sitka Spruce	
97	97	Alnus rubra	70	16	20	Red Alder	
98	98	Picea sitchensis	90	28½	20	Sitka Spruce	
99	99	Picea sitchensis	100	26	20	Sitka Spruce	
100	100	Picea sitchensis	50	12½	10	Sitka Spruce	

## Lincoln Palisades PUD Tree Inventory, Buena Vista Arbor Care, Page 3 of 31

ID	Tag	Species	Height (Ft)	DBH (In)	Drip-Line (Ft)	Common Name	Notes
101	101	Picea sitchensis	100	26½	20	Sitka Spruce	
102	102	Picea sitchensis	80	38	20-30	Sitka Spruce	
103	103	Picea sitchensis	80	27	20-30	Sitka Spruce	
104	104	Picea sitchensis	80	24½	>5	Sitka Spruce	2 stemmed
105	105	Picea sitchensis	70	15	15	Sitka Spruce	
106	106	Picea sitchensis	70	9	>5	Sitka Spruce	
107	107	Picea sitchensis	70	24½	10	Sitka Spruce	codominant at top
108	108	Picea sitchensis	70-90	14½	8	Sitka Spruce	
109	109	Picea sitchensis	70-90	15	DEAD	Sitka Spruce	Dead
110	110	Picea sitchensis	70-90	28	12	Sitka Spruce	
111	111	Picea sitchensis	70-90	46	15	Sitka Spruce	
112	112	Picea sitchensis	50	14	DEAD	Sitka Spruce	Dead 2 stemmed tree
113	113	Picea sitchensis	70-90	18	8	Sitka Spruce	2 stemmed top
114	114	Picea sitchensis	70-90	29	12	Sitka Spruce	possibly outside of boundary, could affect construction
115	115	Picea sitchensis	70-90	24½	12	Sitka Spruce	
116	116	Tsuga heterophylla	50	12	DEAD	Western Hemlock	Dead
117	117	Picea sitchensis	70-90	26½	6	Sitka Spruce	
118	118	Picea sitchensis	70-90	24	12	Sitka Spruce	2 stemmed, 1 dead
119	119	Picea sitchensis	70-90	37½	20	Sitka Spruce	
120	120	Picea sitchensis	70-90	22½	12	Sitka Spruce	
121	121	Picea sitchensis	30	14	DEAD	Sitka Spruce	DEAD
122	122	Picea sitchensis	70-90	22	10	Sitka Spruce	
123	123	Picea sitchensis	70-90	26½	12	Sitka Spruce	
124	124	Picea sitchensis	70-90	23	12	Sitka Spruce	
125	125	Picea sitchensis	70-90	31	14	Sitka Spruce	
126	126	Picea sitchensis	70-90	37	20	Sitka Spruce	4 stemmed spruce (hazards)
127	127	Picea sitchensis	70-90	27½	14	Sitka Spruce	Hemlock
128	128	Alnus rubra	50	15	10	Red Alder	leans
129	129	Alnus rubra	50	8	8	Red Alder	leaning alder/recommend removal
130	130	Alnus rubra	50	7	6	Red Alder	
131	131	Alnus rubra	40-50	6½	3	Red Alder	
132	132	Alnus rubra	40-50	8	5	Red Alder	
133	133	Alnus rubra	40-50	8	5	Red Alder	
134	134	Alnus rubra	40-50	8½	7	Red Alder	
135	135	Alnus rubra	40-50	7½	5	Red Alder	wounded at base, recommend removal
136	136	Alnus rubra	40-50	10	8	Red Alder	
137	137	Alnus rubra	40-50	7½	6	Red Alder	leaning
138	138	Alnus rubra	40-50	10	6	Red Alder	
139	139	Alnus rubra	40-50	8	6	Red Alder	leaning/recommend removal
140	140	Pseudotsuga menziesii	50	12	DEAD	Douglas fir	Dead
141	141	Picea sitchensis	70-90	36	15	Sitka Spruce	
142	142	Picea sitchensis	70-90	29, 21½	16	Sitka Spruce	2 stemmed
143	143	Pseudotsuga menziesii	70-90	18½	12	Douglas fir	
144	144	Picea sitchensis	70-90	25	12	Sitka Spruce	
145	145	Picea sitchensis	70-90	37½	16	Sitka Spruce	
146	146	Tsuga heterophylla	70-90	22½	12	Western Hemlock	
147	147	Picea sitchensis	70-90	37	20	Sitka Spruce	2 stemmed
148	148	Picea sitchensis	70-90	24½	12	Sitka Spruce	3 stemmed, 2 dead
149	149	Pseudotsuga menziesii	70-90	15½	16	Douglas fir	poor structure, recommend removal
150	150	Picea sitchensis	70-90	44½	20	Sitka Spruce	

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ID	Tag	Species	Height (Ft)	DBH (In)	Drip-Line (Ft)	Common Name	Notes
151	151	Alnus rubra	40-50	12	8	Red Alder	
152	152	Alnus rubra	40-50	20	25	Red Alder	
153	153	Picea sitchensis	80-100	51	30	Sitka Spruce	2 stemmed
154	154	Alnus rubra	40-50	10½	8	Red Alder	near corner
155	155	Picea sitchensis	40	12	8	Sitka Spruce	
156	156	Picea sitchensis	35	9½	8	Sitka Spruce	
157	157	Cotinus obovatus	35	12½	12-15	Chittamwood	
158	158	Cotinus obovatus	20	10½	10	Chittamwood	3 stemmed, 2 dead
159	159	Picea sitchensis	70-90	26½	13	Sitka Spruce	
160	160	Picea sitchensis	60-80	16½	10	Sitka Spruce	
161	161	Alnus rubra	60-70	11	7	Red Alder	
162	162	Alnus rubra	60-70	10	7	Red Alder	heavy lean, codominant stem
163	163	Alnus rubra	60-70	8	7	Red Alder	
164	164	Alnus rubra	60-70	8	7	Red Alder	
165	165	Alnus rubra	50-60	8½	10	Red Alder	
166	166	Alnus rubra	50-60	9	7	Red Alder	
167	167	Alnus rubra	50-60	8½	7	Red Alder	
168	168	Alnus rubra	50-60	7	8	Red Alder	
169	169	Alnus rubra	50-60	8	8	Red Alder	
170	170	Picea sitchensis	50-60	11½	6	Sitka Spruce	
171	171	Picea sitchensis	50-60	9½	4	Sitka Spruce	
172	172	Picea sitchensis	60	22	12	Sitka Spruce	2 stemmed
173	173	Alnus rubra	40-60	8½	8-9	Red Alder	
174	174	Alnus rubra	40-60	8½	6-8	Red Alder	
175	175	Alnus rubra	40-60	10	10	Red Alder	
176	176	Alnus rubra	40-60	8	10	Red Alder	
177	177	Alnus rubra	40-60	8	10	Red Alder	
178	178	Alnus rubra	40-60	6½	10	Red Alder	leaning
179	179	Alnus rubra	40-60	7	10	Red Alder	
180	180	Alnus rubra	40-60	8	8	Red Alder	
181	181	Alnus rubra	40-60	7	8	Red Alder	
182	182	Alnus rubra	40-60	6½	6	Red Alder	
183	183	Alnus rubra	40-60	9	8	Red Alder	
184	184	Alnus rubra	40-60	7½	9	Red Alder	
185	185	Alnus rubra	40-60	10	15	Red Alder	
186	186	Alnus rubra	40-60	11	12	Red Alder	
187	187	Picea sitchensis	70-90	49	20	Sitka Spruce	
188	188	Alnus rubra	40-60	8	12	Red Alder	
189	189	Alnus rubra	40-60	7½	15	Red Alder	
190	190	Alnus rubra	40-60	10½	12	Red Alder	
191	191	Alnus rubra	40-60	9	12	Red Alder	
192	192	Alnus rubra	40-60	9	10	Red Alder	
193	193	Alnus rubra	40-60	8½	12	Red Alder	
194	194	Alnus rubra	40-60	8½	12	Red Alder	
195	195	Alnus rubra	40-60	9	12	Red Alder	
196	196	Alnus rubra	40-60	11	15	Red Alder	
197	197	Alnus rubra	40-60	10	12	Red Alder	
198	198	Alnus rubra	40-60	7	10	Red Alder	
199	199	Alnus rubra	50-60	7	10	Red Alder	
200	200	Alnus rubra	40-60	21	20	Red Alder	3 stemmed

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ID	Tag	Species	Height (Ft)	DBH (In)	Drip-Line (Ft)	Common Name	Notes
201	201	Alnus rubra	40-60	7½	12	Red Alder	
202	202	Alnus rubra	40-60	9	12	Red Alder	
203	203	Alnus rubra	40-60	7	10	Red Alder	
204	204	Alnus rubra	40-60	10	15	Red Alder	
205	205	Alnus rubra	40-60	8	12	Red Alder	
206	206	Alnus rubra	40-60	6½	8	Red Alder	
207	207	Alnus rubra	40-60	8	12	Red Alder	
208	208	Alnus rubra	40-60	10	15	Red Alder	
209	209	Alnus rubra	40-60	9	12	Red Alder	
210	210	Alnus rubra	40-60	8	12	Red Alder	
211	211	Picea sitchensis	18	6½	DEAD	Sitka Spruce	Dead
212	212	Alnus rubra	40-60	7	12	Red Alder	
213	213	Alnus rubra	40-60	7	15	Red Alder	
214	214	Alnus rubra	40-60	8	15	Red Alder	
215	215	Picea sitchensis	70-90	46	20	Sitka Spruce	2 stemmed, hazardous, removal
216	216	Picea sitchensis	70-90	37½	14	Sitka Spruce	
217	217	Picea sitchensis	70-90	46	14	Sitka Spruce	2 stemmed
218	218	Alnus rubra	40-60	12	10	Red Alder	
219	219	Picea sitchensis	40-60	10½	4	Sitka Spruce	
220	220	Alnus rubra	40-60	12	15	Red Alder	
221	221	Alnus rubra	40-60	7	12	Red Alder	
222	222	Alnus rubra	40-60	9	89	Red Alder	
223	223	Alnus rubra	40-60	18	12	Red Alder	
224	224	Alnus rubra	50-60	29	15	Red Alder	2 stemmed, recommend removal
225	225	Picea sitchensis	70-90	34	16	Sitka Spruce	
226	226	Alnus rubra	40-60	16, 10½, 7½	10	Red Alder	3 stemmed, recommend removal
227	227	Alnus rubra	40-60	17	8	Red Alder	
228	228	Alnus rubra	40-60	14½	10	Red Alder	
229	229	Alnus rubra	40-60	12	10	Red Alder	leaning
230	230	Alnus rubra	40-60	12½	9	Red Alder	
231	231	Alnus rubra	40-60	10	8	Red Alder	
232	232	Picea sitchensis	70-90	54	20	Sitka Spruce	
233	233	Tsuga heterophylla	70-90	18½	12	Western Hemlock	2 stemmed, rotting stem, recommend removal
234	234	Alnus rubra	40-60	9½	10	Red Alder	
235	235	Picea sitchensis	70-90	25½	15	Sitka Spruce	
236	236	Picea sitchensis	70-90	33½	15	Sitka Spruce	
237	237	Alnus rubra	50-60	8½	8	Red Alder	Off site
238	238	Alnus rubra	40-60	7½	10	Red Alder	
239	239	Alnus rubra	40-60	8	12	Red Alder	
240	240	Alnus rubra	40-60	9½	8	Red Alder	
241	241	Alnus rubra	40-60	8½	8	Red Alder	
242	242	Alnus rubra	40-60	7	6	Red Alder	
243	243	Alnus rubra	40-60	9	8	Red Alder	
244	244	Alnus rubra	40-60	16	10	Red Alder	2 stemmed, recommend removal
245	245	Alnus rubra	40-60	13½	12	Red Alder	
246	246	Alnus rubra	40-60	13	10	Red Alder	
247	247	Alnus rubra	40-60	8½	8	Red Alder	
248	248	Alnus rubra	40-60	6½	8	Red Alder	
249	249	Alnus rubra	40-60	8	8	Red Alder	
250	250	Alnus rubra	40-60	8½	10	Red Alder	

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ID	Tag	Species	Height (Ft)	DBH (In)	Drip-Line (Ft)	Common Name	Notes
251	251	Alnus rubra	40-60	7½	10	Red Alder	
252	252	Alnus rubra	40-60	7	8	Red Alder	
253	253	Alnus rubra	40-60	6	8	Red Alder	
254	254	Alnus rubra	40-60	8½	10	Red Alder	
255	255	Alnus rubra	40-60	8	8	Red Alder	
256	256	Picea sitchensis	70-90	35	14	Sitka Spruce	
257	257	Picea sitchensis	40	16	10	Sitka Spruce	2 stemmed, recommend removal
258	258	Picea sitchensis	70-90	24	14	Sitka Spruce	
259	259	Picea sitchensis	40	10	10	Sitka Spruce	
260	260	Picea sitchensis	70-90	33½	14	Sitka Spruce	
261	261	Picea sitchensis	70-90	25	14	Sitka Spruce	
262	262	Picea sitchensis	70-90	26	14	Sitka Spruce	
263	263	Alnus rubra	40-60	6¼	8	Red Alder	
264	264	Alnus rubra	40-60	7	10	Red Alder	
265	265	Alnus rubra	40-60	7	8	Red Alder	
266	266	Alnus rubra	40-60	6½	8	Red Alder	
267	267	Alnus rubra	40-60	7½	8	Red Alder	
268	268	Alnus rubra	40-60	9	8	Red Alder	
269	269	Alnus rubra	40-60	8½	8	Red Alder	
270	270	Alnus rubra	40-60	8½	8	Red Alder	
271	271	Alnus rubra	40-60	9	8	Red Alder	
272	272	Alnus rubra	40-60	8½	8	Red Alder	
273	273	Alnus rubra	40-60	10	9	Red Alder	
274	274	Alnus rubra	40-60	9	10	Red Alder	
275	275	Alnus rubra	40-60	7	8	Red Alder	
276	276	Alnus rubra	40-60	11½	10	Red Alder	
277	277	Alnus rubra	40-60	9	8	Red Alder	
278	278	Alnus rubra	40-60	8½	9	Red Alder	
279	279	Alnus rubra	40-60	8½	9	Red Alder	
280	280	Alnus rubra	40-60	7½	8	Red Alder	
281	281	Alnus rubra	40-60	8½	8	Red Alder	
282	282	Alnus rubra	40-60	9½	9	Red Alder	
283	283	Alnus rubra	40-60	9	8	Red Alder	
284	284	Alnus rubra	40-60	8½	6	Red Alder	
285	285	Alnus rubra	40-60	12½	6	Red Alder	
286	286	Alnus rubra	40-60	11	8	Red Alder	
287	287	Alnus rubra	40-60	10	8	Red Alder	
288	288	Alnus rubra	40-60	7½	8	Red Alder	
289	289	Alnus rubra	40-60	9	6	Red Alder	
290	290	Alnus rubra	40-60	9	DEAD	Red Alder	leaning, hazardous, dead, needs to be removed
291	291	Alnus rubra	40-60	8	6	Red Alder	
292	292	Alnus rubra	40-60	10½	10	Red Alder	
293	293	Alnus rubra	40-60	6	6	Red Alder	
294	294	Alnus rubra	40-60	6½	8	Red Alder	
295	295	Alnus rubra	40-60	11	12	Red Alder	
296	296	Alnus rubra	40-60	9	10	Red Alder	
297	297	Alnus rubra	40-60	7	6	Red Alder	
298	298	Alnus rubra	40-60	10½	10	Red Alder	
299	299	Alnus rubra	40-60	10	8	Red Alder	
300	300	Alnus rubra	40-60	6	DEAD	Red Alder	dead

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ID	Tag	Species	Height (Ft)	DBH (In)	Drip-Line (Ft)	Common Name	Notes
301	301	Alnus rubra	40-60	10	8	Red Alder	
302	302	Alnus rubra	40-60	6½	8	Red Alder	
303	303	Alnus rubra	40-60	7	6	Red Alder	
304	304	Alnus rubra	40-60	7	8	Red Alder	
305	305	Alnus rubra	40-60	8½	7	Red Alder	
306	306	Alnus rubra	40-60	8½	10	Red Alder	
307	307	Alnus rubra	40-60	9	8	Red Alder	
308	308	Alnus rubra	40-60	8	6	Red Alder	
309	309	Alnus rubra	40-60	9½	8	Red Alder	
310	310	Alnus rubra	40-60	6½	10	Red Alder	
311	311	Alnus rubra	40-60	12	10	Red Alder	
312	312	Alnus rubra	40-60	9½	8	Red Alder	
313	313	Alnus rubra	40-60	11	10	Red Alder	
314	314	Alnus rubra	40-60	9½	8	Red Alder	
315	315	Alnus rubra	40-60	12	10	Red Alder	
316	316	Alnus rubra	40-60	7½	8	Red Alder	
317	317	Alnus rubra	40-60	9	10	Red Alder	
318	318	Alnus rubra	40-60	9½	10	Red Alder	
319	319	Alnus rubra	40-60	9	6	Red Alder	
320	320	Alnus rubra	40-60	7½	6	Red Alder	
321	321	Alnus rubra	40-60	7	8	Red Alder	
322	322	Alnus rubra	40-60	11	10	Red Alder	
323	323	Alnus rubra	40-60	8	8	Red Alder	
324	324	Alnus rubra	40-60	9	10	Red Alder	
325	325	Alnus rubra	40-60	8	10	Red Alder	
326	326	Alnus rubra	40-60	6½	6	Red Alder	
327	327	Alnus rubra	40-60	7	6	Red Alder	
328	328	Alnus rubra	40-60	6½	8	Red Alder	
329	329	Alnus rubra	40-60	9½	10	Red Alder	
330	330	Alnus rubra	40-60	7	12	Red Alder	
331	331	Alnus rubra	40-60	7	10	Red Alder	
332	332	Alnus rubra	40-60	7	8	Red Alder	
333	333	Alnus rubra	40-60	8	6	Red Alder	
334	334	Alnus rubra	40-60	9	10	Red Alder	
335	335	Alnus rubra	40-60	9¼	10	Red Alder	
336	336	Alnus rubra	40-60	6¼	8	Red Alder	
337	337	Alnus rubra	40-60	6½	10	Red Alder	
338	338	Alnus rubra	40-60	7	12	Red Alder	
339	339	Alnus rubra	40-60	6½	6	Red Alder	
340	340	Alnus rubra	40-60	36	12	Red Alder	3 stemmed Alder
341	341	Alnus rubra	40-60	8	8	Red Alder	
342	342	Alnus rubra	40-60	12	8	Red Alder	
343	343	Alnus rubra	40-60	7	8	Red Alder	
344	344	Alnus rubra	40-60	6½	10	Red Alder	
345	345	Alnus rubra	40-60	6½	8	Red Alder	
346	346	Alnus rubra	40-60	6	8	Red Alder	
347	347	Alnus rubra	40-60	8	8	Red Alder	
348	348	Alnus rubra	40-60	8	8	Red Alder	
349	349	Alnus rubra	40-60	6½	6	Red Alder	
350	350	Alnus rubra	40-60	9	10	Red Alder	

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ID	Tag	Species	Height (Ft)	DBH (In)	Drip-Line (Ft)	Common Name	Notes
351	351	Alnus rubra	40-60	7	8	Red Alder	
352	352	Alnus rubra	40-60	7	8	Red Alder	
353	353	Alnus rubra	40-60	6¼	8	Red Alder	
354	354	Alnus rubra	40-60	8	10	Red Alder	
355	355	Alnus rubra	40-60	11½	10	Red Alder	Off site
356	356	Alnus rubra	40-60	8½	8	Red Alder	Off site
357	357	Alnus rubra	40-60	7½	8	Red Alder	Off site
358	358	Alnus rubra	40-60	8½	6	Red Alder	Off site
359	359	Alnus rubra	40-60	7	8	Red Alder	Off site
360	360	Alnus rubra	40-60	9	10	Red Alder	Off site
361	361	Alnus rubra	40-60	9	10	Red Alder	Off site
362	362	Alnus rubra	40-60	10½	8	Red Alder	Off site
363	363	Alnus rubra	40-60	8	8	Red Alder	Off site
364	364	Alnus rubra	40-60	11	10	Red Alder	Off site
365	365	Alnus rubra	40-60	10½	10	Red Alder	Off site
366	366	Picea sitchensis	40-60	15½	12	Sitka Spruce	large column of decay, recommend removal
367	367	Picea sitchensis	40-60	35	15	Sitka Spruce	
368	368	Picea sitchensis	40-60	42	18-20	Sitka Spruce	
369	369	Picea sitchensis	40-60	30	18	Sitka Spruce	
370	370	Picea sitchensis	40-60	33	15	Sitka Spruce	
371	371	Alnus rubra	40-60	10½	8	Red Alder	
372	372	Alnus rubra	40-60	9	10	Red Alder	
373	373	Alnus rubra	40-60	9½	8	Red Alder	
374	374	Alnus rubra	40-60	7½	9	Red Alder	
375	375	Alnus rubra	40-60	7½	10	Red Alder	
376	376	Picea sitchensis	40-60	43	20	Sitka Spruce	
377	377	Alnus rubra	40-60	7	8	Red Alder	
378	378	Alnus rubra	40-60	7½	8	Red Alder	
379	379	Alnus rubra	40-60	6	8	Red Alder	
380	380	Alnus rubra	40-60	11½	10	Red Alder	
381	381	Picea sitchensis	70-90	20	13	Sitka Spruce	2 stemmed
382	382	Picea sitchensis	70-90	19	15	Sitka Spruce	
383	383	Alnus rubra	40-60	11½, 9	10	Red Alder	codominant stem
384	384	Alnus rubra	40-60	9	8	Red Alder	
385	385	Alnus rubra	40-60	10	6	Red Alder	2 stemmed
386	386	Alnus rubra	40-60	7	8	Red Alder	
387	387	Alnus rubra	40-60	6	5	Red Alder	
388	388	Alnus rubra	40-60	9½	8	Red Alder	
389	389	Alnus rubra	40-60	7	8	Red Alder	
390	390	Alnus rubra	40-60	9	10	Red Alder	
391	391	Picea sitchensis	50	8	8	Sitka Spruce	
392	392	Alnus rubra	40-60	6½	10	Red Alder	
393	393	Alnus rubra	40-60	7½	8	Red Alder	
394	394	Alnus rubra	40-60	8½	8	Red Alder	
395	395	Alnus rubra	40-60	6¼	6	Red Alder	
396	396	Alnus rubra	40-60	6½	8	Red Alder	
397	397	Alnus rubra	40-60	6½, 6½	8	Red Alder	3 stemmed
398	398	Alnus rubra	40-60	8	6	Red Alder	
399	399	Alnus rubra	40-60	8	8	Red Alder	
400	400	Cotinus obovatus	40-60	8, 6, 8½	10	Chittamwood	3 stemmed

## Lincoln Palisades PUD Tree Inventory, Buena Vista Arbor Care, Page 9 of 31

ID	Tag	Species	Height (Ft)	DBH (In)	Drip-Line (Ft)	Common Name	Notes
401	401	Picea sitchensis	70-90	53	20	Sitka Spruce	
402	402	Picea sitchensis	70-90	42	13	Sitka Spruce	
403	403	Picea sitchensis	70-90	46½	18	Sitka Spruce	
404	404	Picea sitchensis	70-90	46½	20	Sitka Spruce	
405	405	Alnus rubra	40-60	17	10	Red Alder	
406	406	Picea sitchensis	60-70	11	8	Sitka Spruce	
407	407	Picea sitchensis	20	8½	DEAD	Sitka Spruce	Dead
408	408	Picea sitchensis	70-90	41½	15	Sitka Spruce	4 stemmed, recommend removal
409	409	Picea sitchensis	70-90	48	14	Sitka Spruce	2 stemmed
410	410	Picea sitchensis	40-60	13½	10	Sitka Spruce	
411	411	Picea sitchensis	40-60	11½	9	Sitka Spruce	
412	412	Alnus rubra	40-60	9½	10	Red Alder	
413	413	Alnus rubra	40-60	8	7	Red Alder	
414	414	Picea sitchensis	40-60	21	11	Sitka Spruce	
415	415	Alnus rubra	40-60	9	8	Red Alder	
416	416	Alnus rubra	40-60	8	6	Red Alder	cavity at base of tree
417	417	Alnus rubra	40-60	11	8	Red Alder	
418	418	Alnus rubra	40-60	10½	8	Red Alder	slight lean
419	419	Alnus rubra	40-60	10	8	Red Alder	
420	420	Alnus rubra	40-60	13	8	Red Alder	
421	421	Alnus rubra	40-60	11	6	Red Alder	slight lean
422	422	Alnus rubra	40-60	9½	6	Red Alder	
423	423	Alnus rubra	40-60	7½	6	Red Alder	
424	424	Alnus rubra	40-60	9½	8	Red Alder	
425	425	Alnus rubra	40-60	13	8	Red Alder	
426	426	Alnus rubra	40-60	11	8	Red Alder	
427	427	Alnus rubra	40-60	10	6	Red Alder	major defect at 16, recommend removal
428	428	Picea sitchensis	20	7¼	6	Sitka Spruce	
429	429	Picea sitchensis	40-60	18½	8	Sitka Spruce	
430	430	Alnus rubra	40-60	11½	8	Red Alder	
431	431	Picea sitchensis	20-20	8	6	Sitka Spruce	
432	432	Alnus rubra	40-60	9	8	Red Alder	
433	433	Picea sitchensis	70-90	50½	15	Sitka Spruce	
434	434	Alnus rubra	50-60	10	8	Red Alder	
435	435	Alnus rubra	40-60	10	8	Red Alder	moderate lean
436	436	Alnus rubra	40-60	8	6	Red Alder	
437	437	Alnus rubra	40-60	10	8	Red Alder	
438	438	Alnus rubra	40-60	10½	8	Red Alder	
439	439	Alnus rubra	dead	6½	DEAD	Red Alder	Dead, leaning, highly recommend removal
440	440	Alnus rubra	40-60	7½	8	Red Alder	
441	441	Alnus rubra	40-60	8	8	Red Alder	
442	442	Alnus rubra	40-60	11½	6	Red Alder	
443	443	Alnus rubra	40-60	10½	8	Red Alder	
444	444	Alnus rubra	40-60	8	6	Red Alder	
445	445	Alnus rubra	40-60	8½	6	Red Alder	
446	446	Alnus rubra	40-60	6½	6	Red Alder	
447	447	Alnus rubra	40-60	10½	8	Red Alder	
448	448	Alnus rubra	40-60	10	6	Red Alder	
449	449	Alnus rubra	40-60	8	6	Red Alder	
450	450	Alnus rubra	40-60	7½	6	Red Alder	

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ID	Tag	Species	Height (Ft)	DBH (In)	Drip-Line (Ft)	Common Name	Notes
451	451	Alnus rubra	40-60	8½, 8½, 3½	6	Red Alder	3 stemmed, 1 is dead, recommend removal
452	452	Alnus rubra	40-60	10½	8	Red Alder	
453	453	Alnus rubra	40-60	7	8	Red Alder	
454	454	Alnus rubra	40-60	7½	6	Red Alder	
455	455	Alnus rubra	40-60	7, 9½	6	Red Alder	2 stemmed
456	456	Alnus rubra	40-60	9	8	Red Alder	
457	457	Alnus rubra	40-60	6½	6	Red Alder	
458	458	Alnus rubra	40-60	7½	8	Red Alder	
459	459	Alnus rubra	40-60	9	8	Red Alder	
460	460	Alnus rubra	40-60	8½	8	Red Alder	
461	461	Alnus rubra	40-60	7	6	Red Alder	
462	462	Alnus rubra	40-60	7½	6	Red Alder	
463	463	Alnus rubra	40-60	9½	6	Red Alder	
464	464	Alnus rubra	40-60	10	8	Red Alder	
465	465	Alnus rubra	40-60	7	8	Red Alder	
466	466	Alnus rubra	40-60	8	8	Red Alder	
467	467	Picea sitchensis	70-90	31	18	Sitka Spruce	
468	468	Picea sitchensis	70-90	32	20	Sitka Spruce	
469	469	Picea sitchensis	70-90	29½	15	Sitka Spruce	
470	470	Picea sitchensis	70-90	24	16	Sitka Spruce	
471	471	Picea sitchensis	70-90	28	15	Sitka Spruce	
472	472	Picea sitchensis	70-90	30½	18	Sitka Spruce	
473	473	Picea sitchensis	70-90	48	18	Sitka Spruce	
474	474	Picea sitchensis	40	8½	8	Sitka Spruce	
475	475	Picea sitchensis	40	10	6	Sitka Spruce	
476	476	Picea sitchensis	40	36	14	Sitka Spruce	
477	477	Picea sitchensis	70-90	24½	15	Sitka Spruce	
478	478	Picea sitchensis	70-90	28	17	Sitka Spruce	
479	479	Alnus rubra	40-60	7	8	Red Alder	
480	480	Alnus rubra	40-60	11	6	Red Alder	
481	481	Picea sitchensis	40	10	8	Sitka Spruce	
482	482	Alnus rubra	40-60	13	10	Red Alder	
483	483	Alnus rubra	40	7½	6	Red Alder	
484	484	Alnus rubra	40-60	3½, 8½, 10½, 9½	6	Red Alder	4 stemmed, recommend removal
485	485	Alnus rubra	40-60	11½	8	Red Alder	
486	486	Picea sitchensis	20	7	5	Sitka Spruce	
487	487	Alnus rubra	40-60	9	8	Red Alder	
488	488	Alnus rubra	40-60	7	6	Red Alder	
489	489	Alnus rubra	40-60	10½	6	Red Alder	
490	490	Alnus rubra	40-60	15	8	Red Alder	
491	491	Alnus rubra	40-60	8½	6	Red Alder	
492	492	Alnus rubra	40-60	13	8	Red Alder	
493	493	Alnus rubra	40-60	13	8	Red Alder	
494	494	Alnus rubra	40-60	7	6	Red Alder	
495	495	Alnus rubra	40-60	8	8	Red Alder	
496	496	Alnus rubra	40-60	7½	8	Red Alder	
497	497	Alnus rubra	40-60	8	6	Red Alder	
498	498	Alnus rubra	40-60	10	8	Red Alder	
499	499	Alnus rubra	40-60	6	8	Red Alder	
500	500	Alnus rubra	40-60	7½	8	Red Alder	

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ID	Tag	Species	Height (Ft)	DBH (In)	Drip-Line (Ft)	Common Name	Notes
501	501	Alnus rubra	40-60	9	6	Red Alder	
502	502	Alnus rubra	40-60	6½	6	Red Alder	
503	503	Alnus rubra	40-60	6½	6	Red Alder	
504	504	Alnus rubra	40-60	11½	8	Red Alder	
505	505	Alnus rubra	40-60	7	6	Red Alder	
506	506	Alnus rubra	40-60	10	8	Red Alder	
507	507	Alnus rubra	40-60	12½	8	Red Alder	
508	508	Alnus rubra	40-60	7	6	Red Alder	
509	509	Alnus rubra	40-60	11	8	Red Alder	
510	510	Alnus rubra	40-60	7½	8	Red Alder	
511	511	Alnus rubra	40-60	6¼	6	Red Alder	
512	512	Alnus rubra	40-60	10	8	Red Alder	
513	513	Alnus rubra	40-60	10½	8	Red Alder	
514	514	Picea sitchensis	20	6½	6	Sitka Spruce	
515	515	Picea sitchensis	20	9	7	Sitka Spruce	
516	516	Alnus rubra	40-60	8	8	Red Alder	
517	517	Alnus rubra	40-60	9	6	Red Alder	
518	518	Alnus rubra	40-60	7	6	Red Alder	
519	519	Alnus rubra	40-60	12½	8	Red Alder	
520	520	Alnus rubra	40-60	11	9	Red Alder	
521	521	Alnus rubra	40-60	6½, 9, 9, 5½	6	Red Alder	4 stemmed clump
522	522	Alnus rubra	40-60	8	4	Red Alder	
523	523	Alnus rubra	40-60	10	8	Red Alder	
524	524	Alnus rubra	40-60	10	8	Red Alder	
525	525	Alnus rubra	40-60	8½	6	Red Alder	
526	526	Alnus rubra	40-60	8	6	Red Alder	
527	527	Alnus rubra	40-60	8	5	Red Alder	
528	528	Alnus rubra	40-60	9	6	Red Alder	
529	529	Alnus rubra	40-60	6¼	6	Red Alder	
530	530	Alnus rubra	40-60	9	8	Red Alder	
531	531	Alnus rubra	40-60	11	8	Red Alder	
532	532	Alnus rubra	40-60	12	8	Red Alder	
533	533	Alnus rubra	40-60	8	6	Red Alder	
534	534	Alnus rubra	40-60	9	8	Red Alder	
535	535	Picea sitchensis	70-90	52	20	Sitka Spruce	
536	536	Picea sitchensis	70-90	52	18	Sitka Spruce	
537	537	Alnus rubra	40-60	8	6	Red Alder	leaning
538	538	Alnus rubra	40-60	8	8	Red Alder	
539	539	Alnus rubra	40-60	8	8	Red Alder	
540	540	Alnus rubra	40-60	10	8	Red Alder	
541	541	Alnus rubra	40-60	13	8	Red Alder	
542	542	Alnus rubra	40-60	8	6	Red Alder	
543	543	Alnus rubra	40-60	10	8	Red Alder	
544	544	Alnus rubra	40-60	8	6	Red Alder	
545	545	Alnus rubra	40-60	7	6	Red Alder	
546	546	Alnus rubra	40-60	7	6	Red Alder	
547	547	Alnus rubra	40-60	7½	8	Red Alder	
548	548	Alnus rubra	40-60	6½	6	Red Alder	
549	549	Alnus rubra	40-60	8	6	Red Alder	
550	550	Alnus rubra	40-60	6	6	Red Alder	

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ID	Tag	Species	Height (Ft)	DBH (In)	Drip-Line (Ft)	Common Name	Notes
551	551	Alnus rubra	40-60	6½	8	Red Alder	
552	552	Alnus rubra	40-60	6½	8	Red Alder	
553	553	Alnus rubra	40-60	6½	6	Red Alder	
554	554	Alnus rubra	40-60	10	8	Red Alder	
555	555	Alnus rubra	40-60	9	6	Red Alder	
556	556	Alnus rubra	40-60	8	6	Red Alder	
557	557	Alnus rubra	40-60	9	8	Red Alder	
558	558	Alnus rubra	40-60	7½	6	Red Alder	
559	559	Alnus rubra	40-60	7	6	Red Alder	
560	560	Alnus rubra	40-60	8½	8	Red Alder	
561	561	Alnus rubra	40-60	10½	8	Red Alder	
562	562	Alnus rubra	40-60	6½	6	Red Alder	
563	563	Alnus rubra	40-60	8	8	Red Alder	
564	564	Alnus rubra	40-60	9	8	Red Alder	
565	565	Alnus rubra	40-60	9	8	Red Alder	
566	566	Alnus rubra	40-60	7½	6	Red Alder	
567	567	Alnus rubra	40-60	8½	6	Red Alder	
568	568	Alnus rubra	40-60	6	6	Red Alder	
569	569	Alnus rubra	40-60	9	8	Red Alder	
570	570	Alnus rubra	40-60	9, 3	8	Red Alder	2 stemmed
571	571	Alnus rubra	40-60	10	6	Red Alder	
572	572	Alnus rubra	40-60	7	6	Red Alder	
573	573	Cotinus obovatus	40	6½, 7	4	Chittamwood	2 stemmed
574	574	Cotinus obovatus	40	6, 4½	4	Chittamwood	2 stemmed
575	575	Alnus rubra	40	7	5	Red Alder	
576	576	Alnus rubra	40-50	8	6	Red Alder	
577	577	Picea sitchensis	50-60	25½	10	Sitka Spruce	
578	578	Picea sitchensis	70-90	49	20	Sitka Spruce	2 stemmed
579	579	Alnus rubra	25-30	6	8	Red Alder	
580	580	Alnus rubra	25-30	6¼	6	Red Alder	
581	581	Alnus rubra	25-30	7½	6	Red Alder	
582	582	Alnus rubra	25-30	8½	6	Red Alder	major lean
583	583	Alnus rubra	25-30	9	6	Red Alder	lean
584	584	Alnus rubra	25-30	11	8	Red Alder	
585	585	Alnus rubra	25-30	8	6	Red Alder	
586	586	Alnus rubra	25-30	7½	6	Red Alder	
587	587	Alnus rubra	25-30	7½	8	Red Alder	
588	588	Alnus rubra	25-30	9	8	Red Alder	
589	589	Alnus rubra	25-30	9	6	Red Alder	
590	590	Alnus rubra	25-30	6½	8	Red Alder	
591	591	Alnus rubra	25-30	9	8	Red Alder	
592	592	Alnus rubra	40-50	10	8	Red Alder	
593	593	Alnus rubra	40-60	12	8	Red Alder	
594	594	Alnus rubra	40-60	8	6	Red Alder	
595	595	Alnus rubra	40-60	11½	6	Red Alder	
596	596	Alnus rubra	25-35	8	6	Red Alder	
597	597	Alnus rubra	40-60	9	8	Red Alder	
598	598	Alnus rubra	40-60	7, 8	8	Red Alder	2 stemmed
599	599	Picea sitchensis	30	7	5	Sitka Spruce	
600	600	Alnus rubra	40-60	10½	6	Red Alder	

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ID	Tag	Species	Height (Ft)	DBH (In)	Drip-Line (Ft)	Common Name	Notes
601	601	Alnus rubra	40-60	6½	6	Red Alder	
602	602	Alnus rubra	40-60	7¼	8	Red Alder	
603	603	Picea sitchensis	70-90	32	12	Sitka Spruce	2 stemmed
604	604	Picea sitchensis	70-90	35	18	Sitka Spruce	
605	605	Picea sitchensis	70-90	17½	8	Sitka Spruce	
606	606	Picea sitchensis	70-90	24	9	Sitka Spruce	
607	607	Picea sitchensis	70-90	32	11	Sitka Spruce	
608	608	Picea sitchensis	70-90	29	10	Sitka Spruce	
609	609	Picea sitchensis	70-90	22	8	Sitka Spruce	
610	610	Picea sitchensis	70-90	29	12	Sitka Spruce	
611	611	Picea sitchensis	70-90	33	16	Sitka Spruce	
612	612	Alnus rubra	40-60	9	9	Red Alder	
613	613	Alnus rubra	40-60	9½	8	Red Alder	
614	614	Alnus rubra	40-60	9	8	Red Alder	
615	615	Picea sitchensis	70-90	30	20	Sitka Spruce	
616	616	Picea sitchensis	70-90	28	14	Sitka Spruce	
617	617	Picea sitchensis	70-90	23	10	Sitka Spruce	
618	618	Picea sitchensis	70-90	40	15	Sitka Spruce	
619	619	Picea sitchensis	70-90	34½	19	Sitka Spruce	
620	620	Alnus rubra	40-60	9	6	Red Alder	
621	621	Alnus rubra	40-60	8	6	Red Alder	
622	622	Alnus rubra	40-60	10	8	Red Alder	
623	623	Alnus rubra	40-60	8	6	Red Alder	
624	624	Alnus rubra	40-60	8	6	Red Alder	
625	625	Alnus rubra	40-60	7	6	Red Alder	
626	626	Alnus rubra	40-60	11½	10	Red Alder	
627	627	Alnus rubra	40-60	13	8	Red Alder	
628	628	Alnus rubra	40-60	9½	8	Red Alder	
629	629	Alnus rubra	40-60	9½	8	Red Alder	
630	630	Picea sitchensis	70-90	29	15	Sitka Spruce	2 stemmed, recommend removal
631	631	Picea sitchensis	70-90	46½	20	Sitka Spruce	2 stemmed
632	632	Picea sitchensis	70-90	32	13	Sitka Spruce	
633	633	Picea sitchensis	70-90	40½	20	Sitka Spruce	
634	634	Picea sitchensis	70-90	34½	18	Sitka Spruce	
635	635	Picea sitchensis	70-90	30	12	Sitka Spruce	
636	636	Picea sitchensis	70-90	42	20	Sitka Spruce	
637	637	Alnus rubra	40-60	8	6	Red Alder	
638	638	Alnus rubra	40-60	8	8	Red Alder	
639	639	Alnus rubra	40-60	12	8	Red Alder	
640	640	Alnus rubra	40-60	9	8	Red Alder	
641	641	Alnus rubra	40-60	8	8	Red Alder	
642	642	Alnus rubra	40-60	9	8	Red Alder	
643	643	Alnus rubra	40-60	11½	6	Red Alder	
644	644	Alnus rubra	40-60	12½	8	Red Alder	
645	645	Alnus rubra	40-60	11	6	Red Alder	
646	646	Alnus rubra	40-60	12, 8½	8	Red Alder	2 stemmed, recommend removal
647	647	Alnus rubra	40-60	7½	8	Red Alder	
648	648	Alnus rubra	40-60	11	8	Red Alder	
649	649	Alnus rubra	40-60	6½	6	Red Alder	
650	650	Picea sitchensis	70-90	30	12	Sitka Spruce	

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ID	Tag	Species	Height (Ft)	DBH (In)	Drip-Line (Ft)	Common Name	Notes
651	651	Picea sitchensis	70-90	45½	15	Sitka Spruce	
652	652	Picea sitchensis	70-90	31	13	Sitka Spruce	codominant stem, recommend removal
653	653	Picea sitchensis	70-90	29	15	Sitka Spruce	3 stemmed, recommend removal
654	654	Picea sitchensis	70-90	25	15	Sitka Spruce	
655	655	Picea sitchensis	70-90	29	16	Sitka Spruce	
656	656	Picea sitchensis	70-90	24	18	Sitka Spruce	
657	657	Picea sitchensis	70-90	31½	16	Sitka Spruce	2 stemmed, recommend removal
658	658	Picea sitchensis	70-90	15½	10	Sitka Spruce	
659	659	Picea sitchensis	70-90	13	8	Sitka Spruce	
660	660	Picea sitchensis	70-90	26	12	Sitka Spruce	
661	661	Picea sitchensis	70-90	20½	15	Sitka Spruce	
662	662	Picea sitchensis	70-90	29	18	Sitka Spruce	
663	663	Picea sitchensis	70-90	43	20	Sitka Spruce	2 stemmed
664	664	Picea sitchensis	70-90	12	8	Sitka Spruce	
665	665	Picea sitchensis	70-90	27	18	Sitka Spruce	
666	666	Picea sitchensis	70-90	25	12	Sitka Spruce	
667	667	Picea sitchensis	70-90	13	9	Sitka Spruce	
668	668	Picea sitchensis	70-90	24	10	Sitka Spruce	
669	669	Picea sitchensis	70-90	16	8	Sitka Spruce	
670	670	Picea sitchensis	70-90	11	8	Sitka Spruce	
671	671	Picea sitchensis	70-90	23	15	Sitka Spruce	
672	672	Picea sitchensis	70-90	15	10	Sitka Spruce	
673	673	Picea sitchensis	70-90	33	20	Sitka Spruce	
674	674	Alnus rubra	40-60	7	6	Red Alder	
675	675	Alnus rubra	40-60	7	8	Red Alder	
676	676	Alnus rubra	40-60	8	8	Red Alder	
677	677	Alnus rubra	40-60	6½	6	Red Alder	
678	678	Alnus rubra	40-60	9	8	Red Alder	
679	679	Alnus rubra	40-60	7½	6	Red Alder	
680	680	Alnus rubra	40-60	6½	8	Red Alder	
681	681	Alnus rubra	40-60	8½	8	Red Alder	
682	682	Alnus rubra	40-60	7½	8	Red Alder	
683	683	Alnus rubra	40-60	8	6	Red Alder	
684	684	Alnus rubra	40-60	7	6	Red Alder	
685	685	Alnus rubra	40-60	7	6	Red Alder	leaning
686	686	Alnus rubra	40-60	8	8	Red Alder	
687	687	Alnus rubra	40-60	8	6	Red Alder	
688	688	Alnus rubra	40-60	8¼	8	Red Alder	
689	689	Alnus rubra	40-60	9½	8	Red Alder	
690	690	Alnus rubra	40-60	6	6	Red Alder	
691	691	Alnus rubra	40-60	13½	8	Red Alder	
692	692	Alnus rubra	40-60	9½	8	Red Alder	
693	693	Alnus rubra	40-60	8	6	Red Alder	
694	694	Alnus rubra	40-60	8½	6	Red Alder	
695	695	Alnus rubra	40-60	8	6	Red Alder	
696	696	Alnus rubra	40-60	9	8	Red Alder	
697	697	Alnus rubra	40-60	9	8	Red Alder	
698	698	Alnus rubra	40-60	9	6	Red Alder	
699	699	Alnus rubra	40-60	7½	6	Red Alder	
700	700	Alnus rubra	40-60	9	8	Red Alder	

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ID	Tag	Species	Height (Ft)	DBH (In)	Drip-Line (Ft)	Common Name	Notes
701	701	Alnus rubra	40-60	7	6	Red Alder	
702	702	Alnus rubra	40-60	6½	8	Red Alder	
703	703	Alnus rubra	40-60	9	6	Red Alder	
704	704	Alnus rubra	40-60	10	8	Red Alder	
705	705	Alnus rubra	40-60	12	6	Red Alder	
706	706	Alnus rubra	40-60	6½	6	Red Alder	
707	707	Alnus rubra	40-60	6	8	Red Alder	
708	708	Alnus rubra	40-60	6	8	Red Alder	
709	709	Alnus rubra	40-60	9	8	Red Alder	
710	710	Alnus rubra	40-60	14	8	Red Alder	
711	711	Alnus rubra	40-60	6½	5	Red Alder	
712	712	Alnus rubra	40-60	10	6	Red Alder	
713	713	Alnus rubra	40-60	6	DEAD	Red Alder	Dead
714	714	Alnus rubra	40-60	8	6	Red Alder	
715	715	Alnus rubra	40-60	10	8	Red Alder	
716	716	Alnus rubra	40-60	6¼	8	Red Alder	
717	717	Alnus rubra	40-60	8	8	Red Alder	
718	718	Alnus rubra	40-60	8	6	Red Alder	
719	719	Alnus rubra	40-60	10	8	Red Alder	
720	720	Tsuga heterophylla	20	6½	6	Western Hemlock	
721	721	Alnus rubra	40-60	7	5	Red Alder	
722	722	Alnus rubra	40-60	6½	8	Red Alder	
723	723	Picea sitchensis	70-90	33	15	Sitka Spruce	
724	724	Picea sitchensis	70-90	28	15	Sitka Spruce	
725	725	Pseudotsuga menziesii	70-90	19	12	Douglas fir	Douglas Fir growing adjacent to Spruce
726	726	Picea sitchensis	70-90	29	13	Sitka Spruce	Douglas fir growing adjacent to Spruce
727	727	Picea sitchensis	70-90	29	15	Sitka Spruce	
728	728	Picea sitchensis	70-90	39	15	Sitka Spruce	codominant stem still Spruce
729	729	Picea sitchensis	70-90	28	12	Sitka Spruce	
730	730	Picea sitchensis	70-90	36	15	Sitka Spruce	
731	731	Picea sitchensis	70-90	42	12	Sitka Spruce	
732	732	Alnus rubra	40-60	6½	8	Red Alder	
733	733	Picea sitchensis	25-30	6¼	5	Sitka Spruce	
734	734	Alnus rubra	40-60	10½	8	Red Alder	
735	735	Alnus rubra	40-60	6¼	8	Red Alder	
736	736	Tsuga heterophylla	70-80	18½	8	Western Hemlock	
737	737	Alnus rubra	40-60	10	8	Red Alder	
738	738	Alnus rubra	40-60	6¼	4	Red Alder	
739	739	Alnus rubra	40-60	9	6	Red Alder	
740	740	Alnus rubra	40-60	8	6	Red Alder	
741	741	Alnus rubra	40-60	11	6	Red Alder	
742	742	Alnus rubra	40-60	6	8	Red Alder	
743	743	Alnus rubra	40-60	9	6	Red Alder	
744	744	Alnus rubra	40-60	8½	8	Red Alder	
745	745	Alnus rubra	40-60	10	8	Red Alder	
746	746	Alnus rubra	40-60	8	8	Red Alder	
747	747	Picea sitchensis	70-90	43	15	Sitka Spruce	
748	748	Picea sitchensis	70-90	14½	10	Sitka Spruce	
749	749	Picea sitchensis	70-90	25	12	Sitka Spruce	
750	750	Picea sitchensis	70-90	23½	13	Sitka Spruce	

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ID	Tag	Species	Height (Ft)	DBH (In)	Drip-Line (Ft)	Common Name	Notes
751	751	Picea sitchensis	70-90	35½	18	Sitka Spruce	
752	752	Picea sitchensis	20	12½	DEAD	Sitka Spruce	dead, recommend removal
753	753	Picea sitchensis	70-90	39	20	Sitka Spruce	
754	754	Picea sitchensis	70-90	40	12	Sitka Spruce	
755	755	Alnus rubra	40-60	7½	8	Red Alder	
756	756	Picea sitchensis	20	8½	5	Sitka Spruce	
757	757	Alnus rubra		8½		Red Alder	
758	758	Picea sitchensis	70-90	39	18	Sitka Spruce	2 stemmed Spruce
759	759	Picea sitchensis	70-90	30	12	Sitka Spruce	
760	760	Picea sitchensis	70-90	21	15	Sitka Spruce	
761	761	Picea sitchensis	70-90	20	15	Sitka Spruce	
762	762	Picea sitchensis	70-90	34	10	Sitka Spruce	
763	763	Picea sitchensis	70-90	35	10	Sitka Spruce	
764	764	Picea sitchensis	70-90	28½	12	Sitka Spruce	
765	765	Alnus rubra	40-60	9½	8	Red Alder	
766	766	Alnus rubra	40-60	10½	8	Red Alder	
767	767	Alnus rubra	40-60	6	6	Red Alder	
768	768	Alnus rubra	40-60	11	8	Red Alder	
769	769	Alnus rubra	40-60	9	6	Red Alder	
770	770	Alnus rubra	40-60	13	8	Red Alder	
771	771	Alnus rubra	40-60	8	5	Red Alder	
772	772	Alnus rubra	40-60	8	8	Red Alder	
773	773	Alnus rubra	40-60	7	6	Red Alder	
774	774	Alnus rubra	40-60	6½	6	Red Alder	
775	775	Alnus rubra	40-60	18	10	Red Alder	
776	776	Alnus rubra	40-60	12, 13½, 17	8	Red Alder	3 stemmed clump, recommend removal
777	777	Alnus rubra	40-60	12, 9½, 7¼, 10½, 11	8	Red Alder	5 stemmed clump, recommend removal
778	778	Alnus rubra	40-60	15½	10	Red Alder	
779	779	Alnus rubra	40-60	18½	10	Red Alder	
780	780	Picea sitchensis	70-90	29	15	Sitka Spruce	
781	781	Picea sitchensis	70-90	9½	9	Sitka Spruce	
782	782	Picea sitchensis	70-90	11	9	Sitka Spruce	
783	783	Picea sitchensis	70-90	7½	8	Sitka Spruce	
784	784	Picea sitchensis	70-90	9	8	Sitka Spruce	
785	785	Picea sitchensis	70-90	19	10	Sitka Spruce	
786	786	Picea sitchensis	70-90	11	9	Sitka Spruce	
787	787	Picea sitchensis	70-90	16	10	Sitka Spruce	
788	788	Alnus rubra	40-60	16	10	Red Alder	
789	789	Alnus rubra	40-60	7	6	Red Alder	
790	790	Alnus rubra	40-60	7	6	Red Alder	
791	791	Alnus rubra	40-60	6¼	6	Red Alder	
792	792	Alnus rubra	40-60	8	8	Red Alder	
793	793	Alnus rubra	40-60	7	6	Red Alder	
794	794	Alnus rubra	40-60	7½	6	Red Alder	
795	795	Alnus rubra	40-60	11½	8	Red Alder	
796	796	Alnus rubra	40-60	8½	6	Red Alder	
797	797	Alnus rubra	40-60	7½	6	Red Alder	
798	798	Alnus rubra	40-60	7	6	Red Alder	
799	799	Alnus rubra	40-60	10	8	Red Alder	
800	800	Alnus rubra	40-60	11	10	Red Alder	

## Lincoln Palisades PUD Tree Inventory, Buena Vista Arbor Care, Page 17 of 31

ID	Tag	Species	Height (Ft)	DBH (In)	Drip-Line (Ft)	Common Name	Notes
801	801	Alnus rubra	40-60	8, 10	6	Red Alder	2 stemmed
802	802	Alnus rubra	40-60	10	8	Red Alder	
803	803	Alnus rubra	40-60	9	6	Red Alder	
804	804	Alnus rubra	40-60	10½	6	Red Alder	
805	805	Picea sitchensis	35	14	4	Sitka Spruce	
806	806	Alnus rubra	40-60	6, 6, 7	6	Red Alder	3 stemmed
807	807	Picea sitchensis	70-90	31	12	Sitka Spruce	2 stemmed
808	808	Picea sitchensis	70-90	21	12	Sitka Spruce	
809	809	Picea sitchensis	70-90	39	15	Sitka Spruce	2 stemmed
810	810	Picea sitchensis	70-90	21	15	Sitka Spruce	
811	811	Picea sitchensis	70-90	26	12	Sitka Spruce	
812	812	Picea sitchensis	70-90	25	15	Sitka Spruce	
813	813	Picea sitchensis	70-90	15	12	Sitka Spruce	
814	814	Picea sitchensis	70-90	22	12	Sitka Spruce	
815	815	Picea sitchensis	70-90	28	15	Sitka Spruce	
816	816	Picea sitchensis	70-90	31	18	Sitka Spruce	
817	817	Picea sitchensis	70-90	23	15	Sitka Spruce	
818	818	Picea sitchensis	70-90	21	12	Sitka Spruce	codominant stem
819	819	Picea sitchensis	70-90	19½	10	Sitka Spruce	
820	820	Picea sitchensis	70-90	21	12	Sitka Spruce	
821	821	Picea sitchensis	70-90	18½	15	Sitka Spruce	
822	822	Picea sitchensis	70-90	22	10	Sitka Spruce	
823	823	Picea sitchensis	70-90	17	12	Sitka Spruce	
824	824	Picea sitchensis	70-90	28	10	Sitka Spruce	
825	825	Picea sitchensis	70-90	28	10	Sitka Spruce	
826	826	Picea sitchensis	70-90	42	19	Sitka Spruce	
827	827	Picea sitchensis	70-90	41½	16	Sitka Spruce	
828	828	Picea sitchensis	30	12	DEAD	Sitka Spruce	Dead
829	829	Picea sitchensis	70-90	27	12	Sitka Spruce	codominant stem
830	830	Picea sitchensis	70-90	26½	18	Sitka Spruce	shelf fungus, recommend removal
831	831	Picea sitchensis	70-90	15	12	Sitka Spruce	
832	832	Picea sitchensis	70-90	24	18	Sitka Spruce	
833	833	Picea sitchensis	70-90	25	15	Sitka Spruce	
834	834	Picea sitchensis	70-90	28	12	Sitka Spruce	
835	835	Picea sitchensis	70-90	27	14	Sitka Spruce	
836	836	Picea sitchensis	70-90	18	9	Sitka Spruce	
837	837	Picea sitchensis	70-90	30	11	Sitka Spruce	
838	838	Picea sitchensis	70-90	25	12	Sitka Spruce	
839	839	Picea sitchensis	70-90	21	10	Sitka Spruce	
840	840	Picea sitchensis	70-90	22	9	Sitka Spruce	
841	841	Picea sitchensis	70-90	32	12	Sitka Spruce	
842	842	Pseudotsuga menziesii	50-60	32	10	Douglas fir	
843	843	Picea sitchensis	70-90	28	16	Sitka Spruce	
844	844	Alnus rubra	40-50	9	8	Red Alder	
845	845	Alnus rubra	40-60	8½	8	Red Alder	
846	846	Alnus rubra	40-60	10	10	Red Alder	
847	847	Alnus rubra	40-60	7½	8	Red Alder	
848	848	Alnus rubra	40-60	8	8	Red Alder	
849	849	Alnus rubra	40-60	8	8	Red Alder	
850	850	Alnus rubra	40-60	7	6	Red Alder	

## Lincoln Palisades PUD Tree Inventory, Buena Vista Arbor Care, Page 18 of 31

ID	Tag	Species	Height (Ft)	DBH (In)	Drip-Line (Ft)	Common Name	Notes
851	851	Alnus rubra	40-60	8½	8	Red Alder	
852	852	Alnus rubra	40-60	6	6	Red Alder	
853	853	Alnus rubra	40-60	8	6	Red Alder	
854	854	Alnus rubra	40-60	8½	6	Red Alder	
855	855	Alnus rubra	40-60	6½	6	Red Alder	
856	856	Alnus rubra	40-60	6	6	Red Alder	
857	857	Alnus rubra	40-60	6¼	6	Red Alder	
858	858	Alnus rubra	40-60	9½	6	Red Alder	
859	859	Alnus rubra	40-60	8½	8	Red Alder	
860	860	Alnus rubra	40-60	6¼	6	Red Alder	
861	861	Alnus rubra	40-60	8½	6	Red Alder	
862	862	Alnus rubra	40-60	7½	6	Red Alder	
863	863	Alnus rubra	40-60	7	5	Red Alder	
864	864	Alnus rubra	40-60	8	8	Red Alder	
865	865	Alnus rubra	40-60	6	6	Red Alder	
866	866	Alnus rubra	40-60	7	6	Red Alder	
867	867	Alnus rubra	40-60	8	6	Red Alder	
868	868	Alnus rubra	40-60	8	7	Red Alder	
869	869	Alnus rubra	40-60	8	6	Red Alder	
870	870	Alnus rubra	40-60	8½	6	Red Alder	
871	871	Alnus rubra	40-60	7½	6	Red Alder	
872	872	Alnus rubra	40-60	6½	6	Red Alder	
873	873	Alnus rubra	40-60	7½	6	Red Alder	
874	874	Alnus rubra	40-60	7½	8	Red Alder	
875	875	Alnus rubra	40-60	7½	6	Red Alder	Off site
876	876	Alnus rubra	40-60	9	9	Red Alder	Off site
877	877	Alnus rubra	40-60	7¼	7	Red Alder	
878	878	Alnus rubra	40-60	12	8	Red Alder	on vault edge of property. Off site
879	879	Alnus rubra	40-60	8	6	Red Alder	by phone box
880	880	Alnus rubra	40-60	7½	6	Red Alder	
881	881	Alnus rubra	40-60	11	8	Red Alder	
882	882	Alnus rubra	40-60	7½	8	Red Alder	
883	883	Alnus rubra	40-60	11½	8	Red Alder	corner by gate
884	884	Alnus rubra	40-60	11½	8	Red Alder	
885	885	Alnus rubra	40-60	6	6	Red Alder	
886	886	Alnus rubra	40-60	8½	6	Red Alder	
887	887	Alnus rubra	40-60	9	6	Red Alder	
888	888	Alnus rubra	40-60	7	6	Red Alder	
889	889	Alnus rubra	40-60	10	8	Red Alder	
890	890	Alnus rubra	40-60	10½	8	Red Alder	
891	891	Alnus rubra	40-60	7	6	Red Alder	
892	892	Alnus rubra	40-60	7½	6	Red Alder	
893	893	Alnus rubra	40-60	6½	8	Red Alder	
894	894	Alnus rubra	40-60	10½	8	Red Alder	
895	895	Alnus rubra	40-60	7	6	Red Alder	
896	896	Alnus rubra	40-60	8½	6	Red Alder	
897	897	Picea sitchensis	70-90	32½	13	Sitka Spruce	
898	898	Picea sitchensis	70-90	22, 8, 25½	11	Sitka Spruce	3 stemmed
899	899	Picea sitchensis	70-90	33	10	Sitka Spruce	
900	900	Picea sitchensis	70-90	26	10	Sitka Spruce	2 stemmed (1 small)

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ID	Tag	Species	Height (Ft)	DBH (In)	Drip-Line (Ft)	Common Name	Notes
901	901	Picea sitchensis	30	28	8	Sitka Spruce	broken top
902	902	Alnus rubra	40-60	9	8	Red Alder	
903	903	Alnus rubra	40-60	9½	8	Red Alder	
904	904	Alnus rubra	40-60	6½	5	Red Alder	
905	905	Alnus rubra	40-60	8	6	Red Alder	
906	906	Picea sitchensis	70-90	45½	15	Sitka Spruce	at entry way
907	907	Alnus rubra	70-90	8½	5	Red Alder	
908	908	Picea sitchensis	70-90	36, 33	18	Sitka Spruce	2 stemmed
909	909	Picea sitchensis	70-90	33½	15	Sitka Spruce	
910	910	Picea sitchensis	70-90	33	13	Sitka Spruce	
911	911	Alnus rubra	40-60	8½	5	Red Alder	
912	912	Alnus rubra	40-60	6½	5	Red Alder	
913	913	Alnus rubra	40-60	6½	6	Red Alder	
914	914	Picea sitchensis	70-90	23, 28½	12	Sitka Spruce	2 stemmed
915	915	Picea sitchensis	70-90	37	14	Sitka Spruce	
916	916	Picea sitchensis	70-90	38, 16	16	Sitka Spruce	3 stemmed
917	917	Picea sitchensis	70-90	26½	18	Sitka Spruce	
918	918	Picea sitchensis	70-90	30½	12	Sitka Spruce	
919	919	Picea sitchensis	70-90	27	10	Sitka Spruce	
920	920	Picea sitchensis	25	13½	5	Sitka Spruce	
921	921	Sambucus	15	10	15	Elderberry	Elderberry
922	922	Alnus rubra	40-60	7	6	Red Alder	
923	923	Alnus rubra	40-60	9	6	Red Alder	
924	924	Alnus rubra	40-60	8	8	Red Alder	
925	925	Sambucus	10	10	8	Elderberry	Elderberry, major lean
926	926	Alnus rubra	40-60	11	6	Red Alder	
927	927	Alnus rubra	40-60	10	8	Red Alder	
928	928	Picea sitchensis	40	20	15	Sitka Spruce	broken top split in two
929	929	Alnus rubra	40-60	11	6	Red Alder	
930	930	Alnus rubra	40-60	6	6	Red Alder	
931	931	Alnus rubra	40-60	8	6	Red Alder	
932	932	Alnus rubra	40-60	8½	8	Red Alder	
933	933	Alnus rubra	40-60	7	8	Red Alder	
934	934	Alnus rubra	40-60	8	6	Red Alder	
935	935	Alnus rubra	40-60	8½	6	Red Alder	
936	936	Alnus rubra	40-60	6	6	Red Alder	
937	937	Alnus rubra	40-60	10		Red Alder	
938	938	Alnus rubra	40-60	8	6	Red Alder	
939	939	Alnus rubra	40-60	7	7	Red Alder	
940	940	Alnus rubra	40-60	12, 13	9	Red Alder	2 stemmed
941	941	Alnus rubra	40-60	8,11	11	Red Alder	2 stemmed
942	942	Alnus rubra	40-60	7	6	Red Alder	
943	943	Alnus rubra	40-60	9	8	Red Alder	
944	944	Alnus rubra	40-60	7½	6	Red Alder	
945	945	Alnus rubra	40-60	8, 8¼	8	Red Alder	2 stemmed
946	946	Alnus rubra	40-60	10	6	Red Alder	
947	947	Alnus rubra	40-60	11	8	Red Alder	
948	948	Alnus rubra	40-60	7	8	Red Alder	
949	949	Alnus rubra	40-60	8, 7	8	Red Alder	codominant stem
950	950	Alnus rubra	40-60	10	6	Red Alder	

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ID	Tag	Species	Height (Ft)	DBH (In)	Drip-Line (Ft)	Common Name	Notes
951	951	Alnus rubra	40-60	10	8	Red Alder	
952	952	Alnus rubra	40-60	7	6	Red Alder	
953	953	Alnus rubra	40-60	10½	8	Red Alder	
954	954	Alnus rubra	40-60	6	6	Red Alder	
955	955	Alnus rubra	40-60	7½	6	Red Alder	
956	956	Alnus rubra	40-60	9	6	Red Alder	
957	957	Alnus rubra	40-60	9	6	Red Alder	
958	958	Alnus rubra	40-60	10½	8	Red Alder	
959	959	Picea sitchensis	20	9	8	Sitka Spruce	
960	960	Picea sitchensis	20	9½	8	Sitka Spruce	
961	961	Alnus rubra	40-60	16	6	Red Alder	
962	962	Alnus rubra	40-60	17	9	Red Alder	by transformer
963	963	Alnus rubra	40-60	10½	8	Red Alder	
964	964	Alnus rubra	40-60	7	6	Red Alder	
965	965	Alnus rubra	40-60	6¼	6	Red Alder	
966	966	Alnus rubra	40-60	7	6	Red Alder	
967	967	Alnus rubra	40-60	7½	6	Red Alder	
968	968	Alnus rubra	40-60	8	6	Red Alder	top edge of property by blue ribbon
969	969	Alnus rubra	40-60	8	6	Red Alder	
970	970	Alnus rubra	40-60	3, 6½	5	Red Alder	2 stemmed
971	971	Alnus rubra	40-60	10	8	Red Alder	
972	972	Alnus rubra	40-60	7	6	Red Alder	
973	973	Alnus rubra	40-60	9	6	Red Alder	
974	974	Alnus rubra	40-60	7½	6	Red Alder	
975	975	Alnus rubra	40-60	7½	6	Red Alder	
976	976	Alnus rubra	40-60	7	6	Red Alder	
977	977	Picea sitchensis	70-90	54	16	Sitka Spruce	3 stemmed
978	978	Picea sitchensis	70-90	35	14	Sitka Spruce	
979	979	Cotinus obovatus	20	8	12	Chittamwood	
980	980	Alnus rubra	40-60	15	9	Red Alder	
981	981	Alnus rubra	40-60	8½	8	Red Alder	
982	982	Alnus rubra	40-60	10	8	Red Alder	
983	983	Alnus rubra	40-60	8½	8	Red Alder	
984	984	Alnus rubra	40-60	12½	8	Red Alder	
985	985	Cotinus obovatus	40	6½	10	Chittamwood	major lean
986	986	Alnus rubra	40-60	7	8	Red Alder	
987	987	Alnus rubra	40-60	7	6	Red Alder	
988	988	Alnus rubra	40-60	8	6	Red Alder	
989	989	Alnus rubra	40-60	9	8	Red Alder	
990	990	Alnus rubra	40-60	6½	6	Red Alder	
991	991	Alnus rubra	40-60	10	6	Red Alder	
992	992	Alnus rubra	40-60	9, 9½	7	Red Alder	2 stemmed
993	993	Alnus rubra	40-60	16, 10	8	Red Alder	2 stemmed
994	994	Picea sitchensis	40-60	8½	7	Sitka Spruce	
995	995	Picea sitchensis	40-60	12	8	Sitka Spruce	
996	996	Alnus rubra	40-60	12	7	Red Alder	
997	997	Pseudotsuga menziesii	40-60	13	6	Douglas fir	
998	998	Alnus rubra	20-40	9	8	Red Alder	alder clump by intersection
999	999	Alnus rubra	20-40	7	6	Red Alder	
1000	A66a	Picea sitchensis	70-90	32½	13	Sitka Spruce	

## Lincoln Palisades PUD Tree Inventory, Buena Vista Arbor Care, Page 21 of 31

ID	Tag	Species	Height (Ft)	DBH (In)	Drip-Line (Ft)	Common Name	Notes
1001	A1	Alnus rubra	20-40	7	6	Red Alder	
1002	A2	Alnus rubra	20-40	13½	7	Red Alder	
1003	A3	Alnus rubra	20-40	10	6	Red Alder	
1004	A4	Alnus rubra	20-40	10	7	Red Alder	
1005	A5	Alnus rubra	40-50	13½	7	Red Alder	
1006	A6	Alnus rubra	40-50	7½	8	Red Alder	
1007	A7	Alnus rubra	40-50	8	8	Red Alder	
1008	A8	Alnus rubra	40-50	9, 8, 5	7	Red Alder	3 stemmed clump
1009	A9	Alnus rubra	40-50	12½	8	Red Alder	
1010	A10	Alnus rubra	40-50	12½	8	Red Alder	
1011	A11	Alnus rubra	40-50	12	7	Red Alder	
1012	A12	Alnus rubra	40-50	11½	8	Red Alder	
1013	A13	Alnus rubra	40-50	10	6	Red Alder	
1014	A14	Alnus rubra	40-50	10½	6	Red Alder	
1015	A15	Alnus rubra	40-50	10	8	Red Alder	
1016	A16	Alnus rubra	40-50	9	6	Red Alder	
1017	A17	Alnus rubra	40-50	9½	7	Red Alder	
1018	A18	Alnus rubra	40-50	11	8	Red Alder	
1019	A19	Alnus rubra	40-50	9	8	Red Alder	
1020	A20	Alnus rubra	40-50	9	8	Red Alder	
1021	A21	Alnus rubra	40-50	10	8	Red Alder	
1022	A22	Alnus rubra	40-50	8	8	Red Alder	
1023	A23	Alnus rubra	DEAD	6½	DEAD	Red Alder	DEAD
1024	A24	Alnus rubra	40-50	3, 8	6	Red Alder	2 stemmed
1025	A25	Alnus rubra	40-50	7	7	Red Alder	
1026	A26	Alnus rubra	40-50	7	5	Red Alder	
1027	A27	Alnus rubra	40-50	6, 6	6	Red Alder	2 stemmed
1028	A28	Alnus rubra	40-50	8	7	Red Alder	bird house, beehive in it
1029	A29	Alnus rubra	40-50	9, 8	6	Red Alder	2 stemmed
1030	A30	Alnus rubra	40-50	13	6	Red Alder	
1031	A31	Alnus rubra	40-50	13	8	Red Alder	
1032	A32	Alnus rubra	40-50	10, 3	8	Red Alder	2 stemmed
1033	A33	Alnus rubra	40-50	9	8	Red Alder	
1034	A34	Alnus rubra	40-50	13, 13	6	Red Alder	2 stemmed
1035	A35	Alnus rubra	40-50	11½	8	Red Alder	birdhouse
1036	A36	Alnus rubra	40-50	7, 9½, 9½	8	Red Alder	3 stemmed, large base, recommend removal
1037	A37	Alnus rubra	40-50	8½	8	Red Alder	
1038	A38	Alnus rubra	40-50	11	6	Red Alder	
1039	A39	Alnus rubra	40-50	1½	8	Red Alder	lots of trunk wounds, recommend removal
1040	A40	Alnus rubra	40-50	9½	8	Red Alder	
1041	A41	Alnus rubra	40-50	8	6	Red Alder	
1042	A42	Alnus rubra	40-50	8	6	Red Alder	
1043	A43	Alnus rubra	40-50	14	8	Red Alder	
1044	A44	Alnus rubra	40-50	10	8	Red Alder	
1045	A45	Alnus rubra	40-50	8	6	Red Alder	lots of wounds at base, recommend removal
1046	A46	Alnus rubra	40-50	13	8	Red Alder	
1047	A47	Alnus rubra	40-50	11	8	Red Alder	
1048	A48	Alnus rubra	40-50	9	8	Red Alder	
1049	A49	Alnus rubra	40-50	9	8	Red Alder	large wounds at base, recommend removal
1050	A50	Alnus rubra	40-50	11	8	Red Alder	

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ID	Tag	Species	Height (Ft)	DBH (In)	Drip-Line (Ft)	Common Name	Notes
1051	A51	Alnus rubra	40-50	9	6	Red Alder	
1052	A52	Alnus rubra	40-50	10½	6	Red Alder	
1053	A53	Alnus rubra	40-50	8	8	Red Alder	
1054	A54	Alnus rubra	40-50	8½	8	Red Alder	
1055	A55	Alnus rubra	40-50	10	8	Red Alder	
1056	A56	Alnus rubra	40-50	13½	8	Red Alder	
1057	A57	Alnus rubra	40-50	12	6	Red Alder	
1058	A58	Alnus rubra	40-50	8½	6	Red Alder	
1059	A59	Alnus rubra	40-50	9½	6	Red Alder	
1060	A60	Alnus rubra	40-50	7½	6	Red Alder	lot of base wounds, recommend removal
1061	A61	Alnus rubra	40-50	10	8	Red Alder	lots of base wounds, recommend removal
1062	A62	Alnus rubra	40-50	13	6	Red Alder	
1063	A63	Alnus rubra	40-50	8½, 9½	8	Red Alder	2 stemmed, base wounds, recommend removal
1064	A64	Alnus rubra	40-50	11	6	Red Alder	
1065	A65	Alnus rubra	40-50	11	8	Red Alder	
1066	A66	Alnus rubra	70-90	41	13	Red Alder	
1067	A67	Picea sitchensis	50-60	7½	7	Sitka Spruce	
1068	A68	Alnus rubra	50-60	10½	8	Red Alder	
1069	A69	Alnus rubra	50-60	9	8	Red Alder	
1070	A70	Alnus rubra	50-60	7½	8	Red Alder	
1071	A71	Alnus rubra	50-60	10	8	Red Alder	
1072	A72	Alnus rubra	50-60	11	8	Red Alder	
1073	A73	Alnus rubra	50-60	9½	8	Red Alder	
1074	A74	Alnus rubra	50-60	11	8	Red Alder	
1075	A75	Alnus rubra	50-60	1½	7	Red Alder	
1076	A76	Alnus rubra	50-60	9½	6	Red Alder	
1077	A77	Alnus rubra	50-60	9	8	Red Alder	
1078	A78	Alnus rubra	50-60	11	8	Red Alder	large wound, recommend removal
1079	A79	Alnus rubra	50-60	8½	8	Red Alder	
1080	A80	Alnus rubra	50-60	7½	8	Red Alder	
1081	A81	Alnus rubra	50-60	11	8	Red Alder	
1082	A82	Alnus rubra	50-60	11	6	Red Alder	
1083	A83	Alnus rubra	50-60	12	8	Red Alder	
1084	A84	Alnus rubra	50-60	13½	8	Red Alder	major damage to trunk recommend removal
1085	A85	Alnus rubra	40-50	11	8	Red Alder	
1086	A86	Alnus rubra	40-50	8½, 8½	8	Red Alder	2 stemmed clump, not condominant
1087	A87	Alnus rubra	40-50	9	8	Red Alder	
1088	A88	Alnus rubra	40-50	11	6	Red Alder	
1089	A89	Alnus rubra	40-50	14	8	Red Alder	
1090	A90	Alnus rubra	40-50	10	8	Red Alder	
1091	A91	Alnus rubra	40-50	9	8	Red Alder	
1092	A92	Alnus rubra	40-50	11	6	Red Alder	
1093	A93	Alnus rubra	40-50	10½	6	Red Alder	
1094	A94	Alnus rubra	40-50	12	8	Red Alder	
1095	A95	Alnus rubra	40-50	10½	8	Red Alder	wound at base of tree
1096	A96	Alnus rubra	40-50	13	6	Red Alder	
1097	A97	Alnus rubra	40-50	12½	8	Red Alder	wounds at base
1098	A98	Alnus rubra	40-50	11	6	Red Alder	
1099	A99	Alnus rubra	40-50	10	8	Red Alder	
1100	B00	Alnus rubra	40-50	10	8	Red Alder	

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ID	Tag	Species	Height (Ft)	DBH (In)	Drip-Line (Ft)	Common Name	Notes
1101	B01	Alnus rubra	40-50	8	8	Red Alder	
1102	B02	Alnus rubra	40-50	9½	6	Red Alder	
1103	B03	Alnus rubra	40-50	10	8	Red Alder	
1104	B04	Alnus rubra	40-50	10	8	Red Alder	
1105	B05	Alnus rubra	40-50	10	6	Red Alder	
1106	B06	Alnus rubra	40-50	9	8	Red Alder	
1107	B07	Alnus rubra	40-50	8½	6	Red Alder	
1108	B08	Alnus rubra	40-50	10	6	Red Alder	
1109	B09	Alnus rubra	40-50	10½	8	Red Alder	
1110	B10	Alnus rubra	40-50	13½	8	Red Alder	
1111	B11	Alnus rubra	40-50	11	7	Red Alder	
1112	B12	Alnus rubra	40-50	11½	8	Red Alder	
1113	B13	Alnus rubra	40-50	10	8	Red Alder	
1114	B14	Alnus rubra	40-50	10½	8	Red Alder	
1115	B15	Alnus rubra	40-50	10½	8	Red Alder	
1116	B16	Alnus rubra	40-50	9½	7	Red Alder	
1117	B17	Alnus rubra	40-50	11	8	Red Alder	
1118	B18	Alnus rubra	40-50	11	9	Red Alder	
1119	B19	Alnus rubra	40-50	11	8	Red Alder	
1120	B20	Alnus rubra	40-50	11	8	Red Alder	
1121	B21	Alnus rubra	40-60	8½	8	Red Alder	
1122	B22	Alnus rubra	40-60	8	6	Red Alder	
1123	B23	Alnus rubra	40-60	8	6	Red Alder	
1124	B24	Alnus rubra	40-60	9	7	Red Alder	
1125	B25	Alnus rubra	40-60	9½	6	Red Alder	
1126	B26	Alnus rubra	40-60	8½	6	Red Alder	large wound at base, recommend removal
1127	B27	Alnus rubra	40-60	9½	8	Red Alder	
1128	B28	Alnus rubra	40-60	9½	6	Red Alder	
1129	B29	Alnus rubra	40-60	9	8	Red Alder	
1130	B30	Alnus rubra	40-60	9	6	Red Alder	
1131	B31	Alnus rubra	40-60	8	6	Red Alder	
1132	B32	Alnus rubra	40-60	10	8	Red Alder	
1133	B33	Alnus rubra	40-60	10	8	Red Alder	
1134	B34	Alnus rubra	40-60	10	6	Red Alder	
1135	B35	Alnus rubra	40-60	9½	6	Red Alder	large wounds at base, recommend removal
1136	B36	Alnus rubra	40-60	10	8	Red Alder	
1137	B37	Alnus rubra	40-60	9	8	Red Alder	
1138	B38	Alnus rubra	40-60	11	8	Red Alder	
1139	B39	Alnus rubra	40-50	9	6	Red Alder	
1140	B40	Alnus rubra	40-50	9	6	Red Alder	
1141	B41	Alnus rubra	40-50	9¼	8	Red Alder	
1142	B42	Alnus rubra	40-50	8½	6	Red Alder	
1143	B43	Alnus rubra	40-50	9	6	Red Alder	
1144	B44	Alnus rubra	40-50	9½	8	Red Alder	
1145	B45	Alnus rubra	40-50	10	9	Red Alder	
1146	B46	Alnus rubra	40-50	7½	6	Red Alder	
1147	B47	Alnus rubra	40-50	11½	8	Red Alder	
1148	B48	Alnus rubra	40-50	12½	8	Red Alder	
1149	B49	Alnus rubra	40-50	10	8	Red Alder	
1150	B50	Alnus rubra	40-50	9½	8	Red Alder	

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ID	Tag	Species	Height (Ft)	DBH (In)	Drip-Line (Ft)	Common Name	Notes
1151	B51	Alnus rubra	40-50	10	8	Red Alder	
1152	B52	Alnus rubra	40-50	12	7	Red Alder	
1153	B53	Alnus rubra	40-50	8½	8	Red Alder	
1154	B54	Alnus rubra	40-50	10	6	Red Alder	
1155	B55	Alnus rubra	40-50	8½	6	Red Alder	
1156	B56	Alnus rubra	40-50	12	8	Red Alder	
1157	B57	Alnus rubra	40-50	14½	8	Red Alder	
1158	B58	Alnus rubra	40-50	16	8	Red Alder	2 stemmed, large cavity at base, recommend removal
1159	B59	Alnus rubra	40-50	7, 8	6	Red Alder	2 stemmed clump
1160	B60	Alnus rubra	40-50	12½	8	Red Alder	
1161	B61	Alnus rubra	40-50	9, 12	8	Red Alder	2 stemmed clump
1162	B62	Alnus rubra	40-50	11½	8	Red Alder	
1163	B63	Alnus rubra	40-50	7, 7	6	Red Alder	codominant stem
1164	B64	Alnus rubra	40-50	10	8	Red Alder	
1165	B65	Alnus rubra	40-50	10, 8	6	Red Alder	codominant stem
1166	B66	Alnus rubra	40-50	9	8	Red Alder	the tree adjacent to it is topless and dead
1167	B67	Alnus rubra	40-50	10	7	Red Alder	
1168	B68	Alnus rubra	40-50	12	8	Red Alder	
1169	B69	Alnus rubra	40-50	12	8	Red Alder	
1170	B70	Alnus rubra	40-50	12	6	Red Alder	
1171	B71	Alnus rubra	40-50	9	6	Red Alder	
1172	B72	Alnus rubra	40-50	7	5	Red Alder	
1173	B73	Alnus rubra	40-50	12	6	Red Alder	
1174	B74	Alnus rubra	40-50	8	6	Red Alder	
1175	B75	Alnus rubra	40-50	9	6	Red Alder	
1176	B76	Alnus rubra	40-50	8	8	Red Alder	
1177	B77	Alnus rubra	40-50	9, 8	7	Red Alder	2 stemmed clump
1178	B78	Alnus rubra	40-50	8¼	8	Red Alder	large wound at base
1179	B79	Alnus rubra	40-50	9½	8	Red Alder	furthest west and adjacent to large spruce tree
1180	B80	Alnus rubra	40-50	9	8	Red Alder	
1181	B81	Alnus rubra	40-50	8½	6	Red Alder	
1182	B82	Alnus rubra	40-50	8½	7	Red Alder	
1183	B83	Alnus rubra	40-50	9	8	Red Alder	
1184	B84	Alnus rubra	40-50	10½	8	Red Alder	
1185	B85	Alnus rubra	40-50	10½	8	Red Alder	
1186	B86	Alnus rubra	40-50	8	8	Red Alder	
1187	B87	Alnus rubra	40-50	8½	7	Red Alder	
1188	B88	Alnus rubra	40-50	10½	9	Red Alder	
1189	B89	Alnus rubra	40-50	8	7	Red Alder	
1190	B90	Alnus rubra	40-50	10½	8	Red Alder	
1191	B91	Alnus rubra	40-50	10	6	Red Alder	
1192	B92	Alnus rubra	40-50	8½	7	Red Alder	
1193	B93	Alnus rubra	40-50	11	8	Red Alder	
1194	B94	Alnus rubra	40-50	8½	6	Red Alder	
1195	B95	Alnus rubra	40-50	10	7	Red Alder	
1196	B96	Alnus rubra	40-50	9½	7	Red Alder	
1197	B97	Alnus rubra	40-50	10	5	Red Alder	
1198	B98	Alnus rubra	40-50	11, 10, 12	8	Red Alder	3 stemmed clump, recommend removal
1199	B99	Alnus rubra	40-50	9	6	Red Alder	
1200	C00	Alnus rubra	40-50	11	7	Red Alder	wounds at base, recommend removal

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ID	Tag	Species	Height (Ft)	DBH (In)	Drip-Line (Ft)	Common Name	Notes
1201	C01	Alnus rubra	40-50	14	8	Red Alder	
1202	C02	Alnus rubra	40-50	11	6	Red Alder	
1203	C03	Alnus rubra	40-50	10½	5	Red Alder	
1204	C04	Alnus rubra	40-50	9	7	Red Alder	
1205	C05	Alnus rubra	40-50	12	9	Red Alder	
1206	C06	Alnus rubra	40-50	8	6	Red Alder	
1207	C07	Alnus rubra	40-50	9	8	Red Alder	
1208	C08	Alnus rubra	40-50	8	6	Red Alder	
1209	C09	Alnus rubra	40-50	9	8	Red Alder	
1210	C10	Alnus rubra	40-50	10	8	Red Alder	multiple base wounds, recommend removal
1211	C11	Alnus rubra	40-50	9½	8	Red Alder	multiple base wounds, recommend removal
1212	C12	Alnus rubra	40-50	13	8	Red Alder	
1213	C13	Alnus rubra	40-50	7, 9½	7	Red Alder	2 stemmed
1214	C14	Alnus rubra	40-50	11	8	Red Alder	
1215	C15	Alnus rubra	40-50	10½	7	Red Alder	
1216	C16	Alnus rubra	40-50	8½	7	Red Alder	
1217	C17	Alnus rubra	40-50	9½	6	Red Alder	
1218	C18	Alnus rubra	40-50	11	7	Red Alder	
1219	C19	Alnus rubra	40-50	8½	8	Red Alder	
1220	C20	Alnus rubra	40-50	9	7	Red Alder	
1221	C21	Alnus rubra	40-50	6	7	Red Alder	
1222	C22	Alnus rubra	40-50	10	8	Red Alder	
1223	C23	Alnus rubra	40-50	8½	6	Red Alder	
1224	C24	Alnus rubra	40-50	9	8	Red Alder	
1225	C25	Alnus rubra	40-50	10½	8	Red Alder	
1226	C26	Picea sitchensis	70-90	52	16	Sitka Spruce	
1227	C27	Alnus rubra	40-50	9	8	Red Alder	
1228	C28	Alnus rubra	40-50	11	7	Red Alder	
1229	C29	Alnus rubra	40-50	10	8	Red Alder	
1230	C30	Alnus rubra	40-50	9½	7	Red Alder	
1231	C31	Alnus rubra	40-50	12½	8	Red Alder	large wounds at base
1232	C32	Alnus rubra	40-50	11	7	Red Alder	
1233	C33	Alnus rubra	40-50	9	6	Red Alder	
1234	C34	Alnus rubra	40-50	10	6	Red Alder	
1235	C35	Alnus rubra	40-50	9	6	Red Alder	wounds at base
1236	C36	Alnus rubra	40-50	15	8	Red Alder	
1237	C37	Alnus rubra	40-50	28	20	Red Alder	
1238	C38	Alnus rubra	40-50	12	10	Red Alder	
1239	C39	Alnus rubra	40-50	10	8	Red Alder	
1240	C40	Picea sitchensis	70-90	25, 44	13	Sitka Spruce	2 stemmed
1241	C41	Picea sitchensis	70-90	35	15	Sitka Spruce	broken alder leaning into spruce
1242	C42	Alnus rubra	40-60	9	8	Red Alder	broken alder leaning into spruce
1243	C43	Alnus rubra	40-60	8	6	Red Alder	
1244	C44	Picea sitchensis	70-90	34	12	Sitka Spruce	
1245	C45	Alnus rubra	40-50	9	6	Red Alder	
1246	C46	Alnus rubra	40-50	9½	7	Red Alder	
1247	C47	Alnus rubra	40-60	11	8	Red Alder	
1248	C48	Alnus rubra	40-60	11	6	Red Alder	
1249	C49	Alnus rubra	40-60	8	6	Red Alder	
1250	C50	Alnus rubra	40-60	10	9	Red Alder	

## Lincoln Palisades PUD Tree Inventory, Buena Vista Arbor Care, Page 26 of 31

ID	Tag	Species	Height (Ft)	DBH (In)	Drip-Line (Ft)	Common Name	Notes
1251	C51	Alnus rubra	40-60	14½	9	Red Alder	
1252	C52	Alnus rubra	40-60	11	6	Red Alder	
1253	C53	Alnus rubra	40-60	10½	6	Red Alder	
1254	C54	Alnus rubra	40-60	10	6	Red Alder	
1255	C55	Picea sitchensis	70-90	55	22	Sitka Spruce	codominant
1256	C56	Alnus rubra	40-50	9	6	Red Alder	
1257	C57	Alnus rubra	40-50	9½	7	Red Alder	
1258	C58	Alnus rubra	40-50	10	7	Red Alder	
1259	C59	Alnus rubra	40-50	8	6	Red Alder	
1260	C60	Alnus rubra	40-50	13½	7	Red Alder	
1261	C61	Alnus rubra	40-50	9	8	Red Alder	
1262	C62	Alnus rubra	40-50	7	8	Red Alder	
1263	C63	Alnus rubra	40-50	7½	6	Red Alder	
1264	C64	Alnus rubra	40-50	7	5	Red Alder	
1265	C65	Alnus rubra	40-50	11	7	Red Alder	
1266	C66	Alnus rubra	40-50	10	8	Red Alder	
1267	C67	Alnus rubra	40-50	8	7	Red Alder	
1268	C68	Alnus rubra	40-50	10	8	Red Alder	
1269	C69	Alnus rubra	40-50	9	8	Red Alder	
1270	C70	Alnus rubra	40-50	10	6	Red Alder	
1271	C71	Picea sitchensis	70-90	46	10	Sitka Spruce	
1272	C72	Alnus rubra	45	18, 16	20	Red Alder	
1273	C73	Alnus rubra	40-60	7	8	Red Alder	
1274	C74	Alnus rubra	40-60	7½	8	Red Alder	
1275	C75	Alnus rubra	40-60	8	7	Red Alder	
1276	C76	Picea sitchensis	70-90	28½	12	Sitka Spruce	
1277	C77	Picea sitchensis	70-90	24	12	Sitka Spruce	
1278	C78	Picea sitchensis	70-90	24½	13	Sitka Spruce	
1279	C79	Picea sitchensis	70-90	31	10	Sitka Spruce	
1280	C80	Tsuga heterophylla	40-60	17	10	Western Hemlock	
1281	C81	Picea sitchensis	20	9	5	Sitka Spruce	
1282	C82	Picea sitchensis	70-80	26	9	Sitka Spruce	
1283	C83	Tsuga heterophylla	20-30	14½	10	Western Hemlock	
1284	C84	Picea sitchensis	70-90	34	15	Sitka Spruce	
1285	C85	Picea sitchensis	30	16	9	Sitka Spruce	
1286	C86	Picea sitchensis	30	118	11	Sitka Spruce	
1287	C87	Picea sitchensis	50-80	17	11	Sitka Spruce	
1288	C88	Picea sitchensis	50-80	31	12	Sitka Spruce	
1289	C89	Picea sitchensis	40	17	12	Sitka Spruce	
1290	C90	Picea sitchensis	35-40	12½	12	Sitka Spruce	
1291	C91	Picea sitchensis	40	16	12	Sitka Spruce	
1292	C92	Picea sitchensis	40-45	21	14	Sitka Spruce	
1293	C93	Picea sitchensis	35-40	18	12	Sitka Spruce	tree topped at 14, recommend removal
1294	C94	Picea sitchensis	45-50	23	14	Sitka Spruce	
1295	C95	Picea sitchensis	50-60	39	16	Sitka Spruce	
1296	C96	Picea sitchensis	30-40	17	12	Sitka Spruce	
1297	C97	Picea sitchensis	30-40	16	12	Sitka Spruce	
1298	C98	Picea sitchensis	40-45	17½	14	Sitka Spruce	
1299	C99	Picea sitchensis	25	9½	10	Sitka Spruce	recommend removal
1300	D00	Picea sitchensis	50-60	26	16	Sitka Spruce	

## Lincoln Palisades PUD Tree Inventory, Buena Vista Arbor Care, Page 27 of 31

ID	Tag	Species	Height (Ft)	DBH (In)	Drip-Line (Ft)	Common Name	Notes
1301	D1	Picea sitchensis	25	8	10	Sitka Spruce	recommend removal of tree
1302	D2	Picea sitchensis	40-50	22½	14	Sitka Spruce	
1303	D3	Alnus rubra	35-40	14	12	Red Alder	
1304	D4	Alnus rubra	30	9	15	Red Alder	recommend removal of tree, wound at bottom of tree
1305	D5	Picea sitchensis	40-50	25	16	Sitka Spruce	
1306	D6	Tsuga heterophylla	40-50	18	12	Western Hemlock	
1307	D7	Picea sitchensis	40	18	12	Sitka Spruce	
1308	D8	Alnus rubra	30	9	12	Red Alder	large wound at base, recommend removal of tree
1309	D9	Picea sitchensis	40-50	19	12	Sitka Spruce	
1310	D10	Picea sitchensis	5060	33½	16	Sitka Spruce	
1311	D11	Picea sitchensis	25	8½	10	Sitka Spruce	
1312	D12	Picea sitchensis	40-50	28½	14	Sitka Spruce	
1313	D13	Pseudotsuga menziesii	35	12	10	Douglas fir	
1314	D14	Picea sitchensis	40	19	15	Sitka Spruce	
1315	D15	Picea sitchensis	50-60	29	17	Sitka Spruce	
1316	D16	Picea sitchensis	50-65	31	14	Sitka Spruce	
1317	D17	Pseudotsuga menziesii	40-50	20	14	Douglas fir	
1318	D18	Picea sitchensis	50-60	25	14	Sitka Spruce	next to dead tree, hazard
1319	D19	Picea sitchensis	40	14	12	Sitka Spruce	large wound, recommend removal
1320	D20	Pseudotsuga menziesii	35-40	8½	10	Douglas fir	
1321	D21	Picea sitchensis	30-35	12	12	Sitka Spruce	
1322	D22	Picea sitchensis	30-35	13	12	Sitka Spruce	
1323	D23	Sambucus	20	9	12	Elderberry	
1324	D24	Pseudotsuga menziesii	25	10	10	Douglas fir	
1325	D25	Picea sitchensis	50	20	13	Sitka Spruce	
1326	D26	Alnus rubra	40	18	15	Red Alder	showing signs of decaying
1327	D27	Picea sitchensis	30	17	12	Sitka Spruce	
1328	D28	Alnus rubra	45	33	20	Red Alder	two stemmed, hazard, recommend removal
1329	D29	Picea sitchensis	60-70	49	20	Sitka Spruce	multiple tops
1330	D30	Picea sitchensis	40	25	13	Sitka Spruce	
1331	D31	Picea sitchensis	40	17	12	Sitka Spruce	
1332	D32	Picea sitchensis	70	58	25	Sitka Spruce	10-down stem
1333	D33	Picea sitchensis	40-50	29½	12	Sitka Spruce	
1334	D34	Picea sitchensis	40-50	27	13	Sitka Spruce	
1335	D35	Picea sitchensis	50-60	52	20	Sitka Spruce	
1336	D36	Picea sitchensis	70	53	22	Sitka Spruce	
1337	D37	Alnus rubra	30	11	12	Red Alder	dead center, hazard, recommend removal
1338	D38	Tsuga heterophylla	15	19	12	Western Hemlock	
1339	D39	Alnus rubra	20	7	12	Red Alder	
1340	D40	Alnus rubra	40-50	20	15	Red Alder	dead top
1341	D41	Picea sitchensis	20-25	18	15	Sitka Spruce	two top
1342	D42	Picea sitchensis	30	22	15	Sitka Spruce	
1343	D43	Picea sitchensis	30-35	21½	15	Sitka Spruce	
1344	D44	Picea sitchensis	20	10	6	Sitka Spruce	
1345	D45	Picea sitchensis	20	11	10	Sitka Spruce	
1346	D46	Alnus rubra	15-20	14	10	Red Alder	brocken out top
1347	D47	Alnus rubra	20-30	8	20	Red Alder	
1348	D48	Picea sitchensis	20-25	11	10	Sitka Spruce	
1349	D49	Picea sitchensis	20-25	8	8	Sitka Spruce	
1350	D50	Alnus rubra	40-50	18	12	Red Alder	

Lincoln Palisades PUD Tree Inventory, Buena Vista Arbor Care, Page 28 of 31

ID	Tag	Species	Height (Ft)	DBH (In)	Drip-Line (Ft)	Common Name	Notes
1351	D51	Tsuga heterophylla	75-100	25	15	Western Hemlock	
1352	D52	Picea sitchensis	50	23	12	Sitka Spruce	
1353	D53	Picea sitchensis	100	37	15-20	Sitka Spruce	
1354	D54	Tsuga heterophylla	50-60	16½	12	Western Hemlock	
1355	D55	Picea sitchensis	30	24	15	Sitka Spruce	
1356	D56	Alnus rubra	30-40	13½	12	Red Alder	
1357	D57	Alnus rubra	20	8	10-15	Red Alder	3 top
1358	D58	Picea sitchensis	20	13	10-12	Sitka Spruce	very curvy trunk
1359	D59	Picea sitchensis	50-60	31	20	Sitka Spruce	
1360	D60	Alnus rubra	30-40	19	15	Red Alder	
1361	D61	Alnus rubra	50-60	24	10	Red Alder	
1362	D62	Alnus rubra	20-25	10	15	Red Alder	
1363	D63	Alnus rubra	40	18	12	Red Alder	
1364	D64	Picea sitchensis	60	34	15	Sitka Spruce	
1365	D65	Pseudotsuga menziesii	50-55	69	15-20	Douglas fir	L up splits into 4 trunks
1366	D66	Alnus rubra	40	11½	12	Red Alder	splints into 4 trunks starting at 24 off the ground
1367	D67	Picea sitchensis	35	22	10	Sitka Spruce	
1368	D68	Picea sitchensis	20	16	12	Sitka Spruce	top broke out long ago and ahs new one grown
1369	D69	Alnus rubra	20	11	12	Red Alder	
1370	D70	Tsuga heterophylla	40	22	15	Western Hemlock	
1371	D71	Alnus rubra	2	10	10	Red Alder	
1372	D72	Alnus rubra	20	7	8	Red Alder	
1373	D73	Picea sitchensis	70	58	30	Sitka Spruce	splits at base into 2 trunks
1374	D74	Picea sitchensis	60	48	25	Sitka Spruce	
5000		Alnus rubra		30	30	Red Alder	
5001		Alnus rubra		40	35	Red Alder	
5002		Alnus rubra		15	4	Red Alder	
5003		Alnus rubra		9	4	Red Alder	
5004		Alnus rubra		14	7	Red Alder	
5005		Alnus rubra		28	30	Red Alder	
5006		Alnus rubra		35	32	Red Alder	
5007		Alnus rubra		34	30	Red Alder	
5008		Alnus rubra		39	35	Red Alder	
5009		Alnus rubra		23	23	Red Alder	
5010		Alnus rubra		29	30	Red Alder	
5011		Alnus rubra		9	23	Red Alder	
5012		Alnus rubra		17	32	Red Alder	
5013		Alnus rubra		12	34	Red Alder	
5014		Alnus rubra		14	34	Red Alder	
5015		Alnus rubra		7	14	Red Alder	
5016		Alnus rubra		10	20	Red Alder	
5017		Alnus rubra		10	25	Red Alder	
5018		Alnus rubra		13	25	Red Alder	
5019		Alnus rubra		25	25	Red Alder	
5020		Picea sitchensis		42	30	Sitka Spruce	
5021		Alnus rubra		6	12	Red Alder	
5022		Alnus rubra		21	15	Red Alder	
5023		Alnus rubra		6	12	Red Alder	
5024		Alnus rubra		7	8	Red Alder	
5025		Alnus rubra		6	8	Red Alder	

## Lincoln Palisades PUD Tree Inventory, Buena Vista Arbor Care, Page 29 of 31

ID	Tag	Species	Height (Ft)	DBH (In)	Drip-Line (Ft)	Common Name	Notes
5026		Alnus rubra		6	8	Red Alder	
5027		Alnus rubra		6	8	Red Alder	
5028		Alnus rubra		6½	10	Red Alder	
5029		Picea sitchensis		38	30	Sitka Spruce	Off site
5030		Picea sitchensis		24	20	Sitka Spruce	
5031		Picea sitchensis		14	13	Sitka Spruce	
5032		Picea sitchensis		55	25	Sitka Spruce	
5033		Alnus rubra		6½	6	Red Alder	
5034		Picea sitchensis		7	5	Sitka Spruce	
5035		Picea sitchensis		10	7	Sitka Spruce	
5036		Alnus rubra		12½	12	Red Alder	
5037		Alnus rubra		9	10	Red Alder	
5038		Picea sitchensis		25½	15	Sitka Spruce	
5039		Picea sitchensis		60	30	Sitka Spruce	Off site
5040		Picea sitchensis		49	25	Sitka Spruce	Off site
5041		Alnus rubra		17½	18	Red Alder	Off site
5042		Alnus rubra		6	6	Red Alder	
5043		Picea sitchensis		9	6	Sitka Spruce	
5044		Cotinus obovatus		6½	14	Chittamwood	
5045		Alnus rubra		21½	22	Red Alder	Off site
5046		Cotinus obovatus		10	10	Chittamwood	
5047		Cotinus obovatus		11½, 7, 6½, 6	16	Chittamwood	multiple trunk
5048		Alnus rubra		6	12	Red Alder	
5049		Picea sitchensis		6	6	Sitka Spruce	
5050		Alnus rubra		7	7	Red Alder	
5051		Alnus rubra		6	6	Red Alder	
5052		Alnus rubra		6½	12	Red Alder	
5053		Sambucus		6½	10	Elderberry	
5054		Alnus rubra		9½	10	Red Alder	
5055		Alnus rubra		6	8	Red Alder	
5056		Alnus rubra		9	13	Red Alder	
5057		Alnus rubra		10½	20	Red Alder	
5058		Alnus rubra		8	20	Red Alder	
5059		Alnus rubra		9	12	Red Alder	
5060		Alnus rubra		12	20	Red Alder	
5061		Alnus rubra		8	14	Red Alder	
5062		Alnus rubra		6½	16	Red Alder	
5063		Alnus rubra		9	15	Red Alder	
5064		Alnus rubra		10	18	Red Alder	
5065		Alnus rubra		8½	18	Red Alder	
5066		Picea sitchensis		41	30	Sitka Spruce	Off site
5067		Alnus rubra		16, 12½, 12	25	Red Alder	
5068		Alnus rubra		9	12	Red Alder	
5069		Alnus rubra		6	10	Red Alder	
5070		Alnus rubra		10½	12	Red Alder	
5071		Alnus rubra		7	10	Red Alder	
5072		Alnus rubra		12	12	Red Alder	
5073		Alnus rubra		8	10	Red Alder	
5074		Alnus rubra		10	15	Red Alder	
5075		Alnus rubra		9½	12	Red Alder	

## Lincoln Palisades PUD Tree Inventory, Buena Vista Arbor Care, Page 30 of 31

ID	Tag	Species	Height (Ft)	DBH (In)	Drip-Line (Ft)	Common Name	Notes
5076		Alnus rubra		7	8	Red Alder	
5077		Alnus rubra		10½	20	Red Alder	
5078		Alnus rubra		12½	15	Red Alder	
5079		Picea sitchensis		33	27	Sitka Spruce	Off site
5080		Picea sitchensis		25	25	Sitka Spruce	Off site
5081		Alnus rubra		19,20	25	Red Alder	Off site
5082		Picea sitchensis		29	15	Sitka Spruce	Off site
5083		Alnus rubra		30	17	Red Alder	Off site
5084		Alnus rubra		19	20	Red Alder	
5085		Picea sitchensis		10	15	Sitka Spruce	Off site
5086		Picea sitchensis		26	20	Sitka Spruce	
5087		Alnus rubra		10½	20	Red Alder	
5088		Picea sitchensis		28	20	Sitka Spruce	Off site
5089		Picea sitchensis		21	18	Sitka Spruce	Off site
5090		Picea sitchensis		21	15	Sitka Spruce	Off site
5091		Alnus rubra		6	8	Red Alder	Off site
5092		Picea sitchensis		29	22	Sitka Spruce	Off site
5093		Picea sitchensis		25	20	Sitka Spruce	Off site
5094		Alnus rubra		8½	8	Red Alder	Off site
5095		Alnus rubra		6½	10	Red Alder	
5096		Alnus rubra		7	8	Red Alder	
5097		Alnus rubra		7	6	Red Alder	
5098		Alnus rubra		6	7	Red Alder	
5099		Alnus rubra		6	7	Red Alder	
5100		Alnus rubra		6	12	Red Alder	Off site
5101		Alnus rubra		9½	10	Red Alder	Off site
5102		Alnus rubra		10½	15	Red Alder	Off site
5103		Alnus rubra		11	15	Red Alder	Off site
5104		Alnus rubra		11	15	Red Alder	Off site
5105		Pseudotsuga menziesii		16	15	Douglas fir	Off site
5106		Alnus rubra		6	12	Red Alder	Off site
5107		Alnus rubra		6,6	12	Red Alder	Off site
5108		Alnus rubra		6	12	Red Alder	Off site
5109		Picea sitchensis		7½	12	Sitka Spruce	Off site
5110		Picea sitchensis		8½	10	Sitka Spruce	Off site
5111		Picea sitchensis		29	25	Sitka Spruce	
5112		Alnus rubra		6	10	Red Alder	
5113		Alnus rubra		135	17	Red Alder	Off site
5114		Alnus rubra		13½	16	Red Alder	Off site
5115		Alnus rubra		16	18	Red Alder	Off site
5116		Alnus rubra		11	15	Red Alder	Off site
5117		Picea sitchensis		22	16	Sitka Spruce	Off site
5118		Alnus rubra		15	15	Red Alder	Off site
5119		Alnus rubra		13	18	Red Alder	Off site
5120		Picea sitchensis		19½	14	Sitka Spruce	Off site
5121		Alnus rubra		9½	15	Red Alder	Off site
5122		Alnus rubra		8	16	Red Alder	
5123		Alnus rubra		6	8	Red Alder	
5124		Alnus rubra		8	12	Red Alder	
5125		Picea sitchensis		16	16	Sitka Spruce	

## Lincoln Palisades PUD Tree Inventory, Buena Vista Arbor Care, Page 31 of 31

ID	Tag	Species	Height (Ft)	DBH (In)	Drip-Line (Ft)	Common Name	Notes
5126		Picea sitchensis		18	20	Sitka Spruce	Off site
5127		Picea sitchensis		7	5	Sitka Spruce	Off site
5128		Picea sitchensis		16	16	Sitka Spruce	Off site
5129		Picea sitchensis		8	12	Sitka Spruce	
5130		Picea sitchensis		12½	12	Sitka Spruce	
5131		Picea sitchensis		7	5	Sitka Spruce	Off site
5132		Alnus rubra		11½	20	Red Alder	Off site
5133		Alnus rubra		11	20	Red Alder	Off site
5134		Alnus rubra		11	20	Red Alder	Off site
5135		Picea sitchensis		11	10	Sitka Spruce	Off site
5136		Alnus rubra		12	10	Red Alder	Off site
5137		Alnus rubra		11	12	Red Alder	Off site
5138		Alnus rubra		12	10	Red Alder	Off site
5139		Picea sitchensis		7	7	Sitka Spruce	Off site
5140		Picea sitchensis		7	12	Sitka Spruce	Off site
5141		Picea sitchensis		18½	15	Sitka Spruce	Off site
5142		Picea sitchensis		15½	15	Sitka Spruce	Off site
5143		Pseudotsuga menziesii		14½	15	Douglas fir	Off site
5144		Alnus rubra		13	26	Red Alder	Off site
5145		Alnus rubra		7	15	Red Alder	Off site
5146		Alnus rubra		9	15	Red Alder	Off site
5147		Alnus rubra		12½	16	Red Alder	Off site
5148		Alnus rubra		8	12	Red Alder	
5149		Alnus rubra		7½	10	Red Alder	Off site
5150		Alnus rubra		7	10	Red Alder	Off site
5151		Alnus rubra		8½	12	Red Alder	Off site
5152		Alnus rubra		11½	15	Red Alder	Off site
5153		Picea sitchensis		23½	14	Sitka Spruce	
5154		Alnus rubra		15½	20	Red Alder	
5155		Picea sitchensis		64	50	Sitka Spruce	Off site
5156		Pseudotsuga menziesii		36	10	Douglas fir	
5157		Picea sitchensis		14	10	Sitka Spruce	
5158		Picea sitchensis		26	20	Sitka Spruce	
5159		Alnus rubra		9	20	Red Alder	

**From:** [Patrick Dunne](#)  
**To:** [Anne Marie Skinner; Kenneth Murphy](#)  
**Subject:** Lincoln Palisades Phase VI  
**Date:** Tuesday, November 2, 2021 9:38:20 PM  
**Attachments:** [PalisadesVI.pdf](#)

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Hello Friends,

I have communicated with each of you on development issues. Palisades VI, attached, came to my attention Monday via a neighbor across the street. I am on the west side of Voyage Ave and was not included in the mailing, but certainly will be affected as well as all of Roads End by this proposal. Packet material will be available November 10 to the Planning Commission and I will complete my testimony before the November 16 Commission meeting.

Unfortunately, I am unable to attend to testify in person as we have airline reservations to visit family in Nebraska that very day, returning January 5th.

06-11-35-CD-00102.jpg shows the area of the proposal for your reference before the packet is complete November 10. The area with 120 printed by Wave Ln and 51 Lp (I think) is the proposed development location. Note the "35" outside the bulge to the right of Wave Ln. This is a new road being developed to a dead end before the "35" with housing planned on each side. Mitch Parsons told me this was approved as there was no contention (I need to pay closer attention).

LP-VI...jpg is a rough display of the bigger issue Ken and I discussed earlier.

Area Map

- 1 – Only existing routes out of Roads End to Hwy 101.
- 2 – Area of Phase VI and possible routes to Hwy 101.
- 3- Needed: additional escape route out of Roads End to Hwy 101.
- 4- Added: possible escape route to Hwy 101.

We obviously need more roads to ease congestion and provide quicker emergency escape. The yellow squiggle by VI is a connection between Wave Ln and 51st Lp depicted in an earlier Lincoln Palisades expansion. The white line and orange line cutting shows the dead end and the other orange line at 2 shows a way to the existing road to the golf course and another 2 to Hwy 101.

3 is an idea Mitch told me City Council has been considering. Expensive build, yes, but improving Sal La Sea and this route would help alleviate six hours of escape time from Roads End. 4 is another possible route direct to Hwy 101.

Pat Dunne 

## NOTICE OF PUBLIC HEARING FOR A PLANNED UNIT DEVELOPMENT/SUBDIVISION

The Lincoln City Planning and Community Development Department has scheduled a public hearing for the project described below. The Lincoln City Planning Commission will hold a public hearing to consider the request on **Tuesday, November 16, 2021 at 6:00 p.m.** via Zoom conferencing. Any person who may be affected is invited to attend and participate in the hearing and present written and/or oral testimony concerning the project.

**Due to the COVID-19 pandemic, this meeting may include electronic or telephonic attendance by members of the Lincoln City Planning staff and other members of the public. For those wishing to testify in person, the public is invited to attend and participate in the Council Chambers, although fewer seats are available due to social distancing requirements. For those wishing to testify remotely, please email testimony to [planning@lincolncity.org](mailto:planning@lincolncity.org) during the public hearing.**

### Description of Project

This application seeks approval of a 36-lot residential planned unit development/subdivision for Lincoln Palisades Phase VI. The site consists of approximately 7.57 acres in the Single-Family Residential (R-1-7.5) zone, located at the termination points (dead-ends) of NE 51<sup>st</sup> Loop and the east side of NE Wave Ln. (Assessor's Map 06-11-35-CD-00102). The applicant and owner is Alpha Building Ventures. (FILE PUD 2021-02/SUB 2021-01)

### Public Hearing Criteria

The applicable criteria by which the request will be evaluated by the Planning Commission are Lincoln City Municipal Code Chapter 17.16 Single-Family Residential (R-1) Zone, Chapter 17.76.050, Chapter 17.77.120 Planned Development, Title 16 Subdivisions and Chapter 17.56 Off-street Parking and Loading Regulations. Appeals to the Land Use Board of Appeals (LUBA) are limited to only persons who have presented written and/or oral testimony at the hearing(s) before the Lincoln City Planning Commission and/or City Council. The failure to raise an issue at the public hearing(s), in person or by letter, or the failure to provide sufficient specificity to allow the Planning Commission and/or City Council an opportunity to respond to the issue precludes an appeal to LUBA on that issue. Unless there is a continuance, if a participant so requests, the record shall remain open for at least seven (7) days after the initial evidentiary hearing.

### For More Information

A copy of the application, all documents and evidence submitted by or on behalf of the applicant, and applicable criteria are available for inspection at no cost and will be provided to any person upon request at reasonable cost. A copy of the staff report will be available for inspection at no cost seven days prior to the hearing and will be provided to any person upon request at reasonable cost. The public may view application materials on the City of Lincoln City website at [www.lincolncity.org](http://www.lincolncity.org) by going to City Departments in left column, selecting Planning & Community Development, then scrolling down to and clicking on Land Use Applications in Process, and finally clicking on PUD 2021-02 Lincoln Palisades Phase VI. Contact Dave Mattison, Senior Planner, Planning and Community Development, by phone at 541.996.1227, or email at [planning@lincolncity.org](mailto:planning@lincolncity.org) for questions.

Planning Commission meetings are televised live on Charter Channel 4 Lincoln City and rebroadcast at various times. They are streamed live on the internet through a link on the City of Lincoln City website, and can also be viewed following the meeting. The meeting location is accessible to persons with disabilities. A request for an interpreter for the hearing impaired, for a hearing impaired device, or for other accommodations for persons with disabilities, should be made at least 48 hours in advance of the meeting to Cathy Steere, City Recorder, at 541.996.1203.

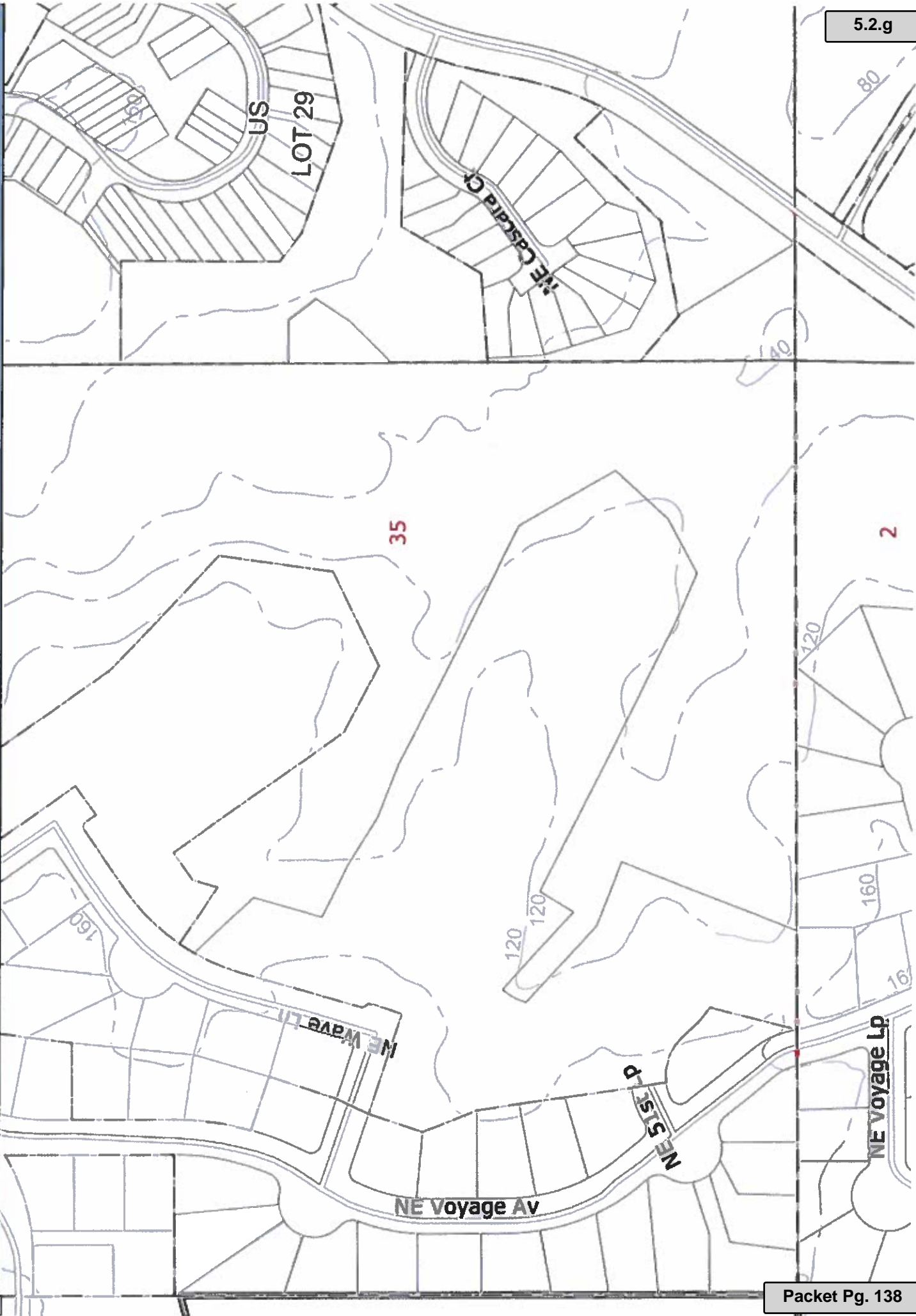
**PUBLISHED: November 2, 2021  
MAILED: October 27, 2021**



# TY, OREGON WEBMAPS

- Measure
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- Identify
- Select
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- Advanced Tools
- Start Over

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**From:** [REDACTED]  
**To:** [Planning](#)  
**Cc:** [REDACTED]  
**Subject:** Proposed development PUD 2021-02  
**Date:** Friday, November 5, 2021 12:47:55 PM

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Good afternoon,

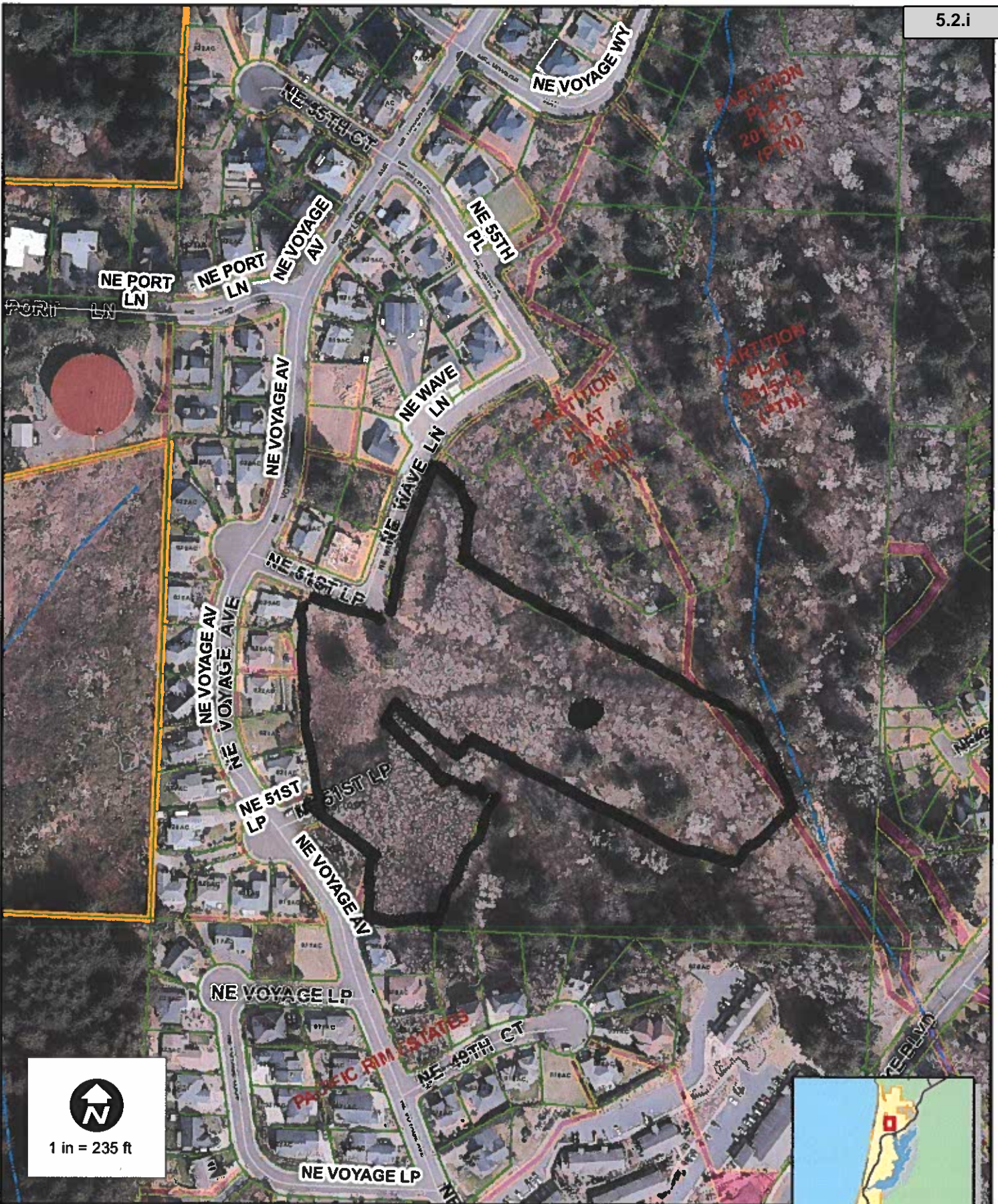
We received notice of the proposed development and meeting date. There are some concerns we have with this development proposal and we would ask that they be taken into consideration.

1. We question that the size of some lots do not meet LCMC 17.77.120.B minimum size requirements for Zone R-1-7.5. The first sentence on the top of Page 5 in the narrative indicates that the property is zoned R-1-7.5 which according to ordinance has a minimum lot size requirement of 7500 sqft. The master plan shows some lots that are smaller (Zone R-1-5). Are we re-zoning a portion of this development?
2. Some of these small lot sizes have narrow road frontage, particularly around lots 32-36. What type of single-family dwelling do you envision being built on these lots? If they are two story units, they would potentially block the scenic views that existing residents currently enjoy which is hardly fair to them.
3. The master plan indicates that trees will be planted on the new lots. What type of trees are going to be planted? How tall will they get and how fast will they develop? With the high winds we occasionally experience in this area from the south and west, is it wise to place trees potentially in front of the homes?
4. Who will be maintaining Tract A (storm drain route) or is it going to turn into a weed field? Will it be surrounded by fencing or what? Will it have a walkway?
5. We do not see any indication that there will be streetlights included as part of this plan. Currently, the north end of Wave Lane has streetlights. If not part of the plan, is there any thought of those being included at a later date? If so, who will be paying for them? If not, could they be included at least at the intersections where there are ADA crosswalks?
6. There was a "traffic analysis" conducted as part of the preparations for this plan. Are there going to be traffic controls (stop signs) on either end of Wave Lane or at the intersection of Street A and 51<sup>st</sup> Loop? With this development, both 51<sup>st</sup> Loop and 55<sup>th</sup> Place would effectively become main thoroughfares and there should be some control to prevent accidents.
7. We have some safety concerns with regards to evacuation in case of wildfires or other emergencies.
  - a. In 2020 when we were directed to evacuate our homes there was really only one way to get out of the area, namely Voyage Avenue to 47<sup>th</sup> Street. Port Lane was a pathetic bottleneck. Adding these 36 lots plus the 19 lots currently under development will potentially compound evacuation times should this occur again.
  - b. Neither the current 19 lot development on 55<sup>th</sup> Place nor this proposal allow for two routes of entry or exit. This would be potentially disastrous for those lower lot (east end) residents in the event of an emergency. Rather than have two dead-end streets, would it not be wiser to connect the ends of these two streets east of the wetland boundary area to offer a second route out?

It is our understanding that this is a virtual meeting (via Zoom?) and would like to attend. Is there a "sign up" for the meeting?

Thank you for your consideration.  
George (Tim) and Joyce Stoelb





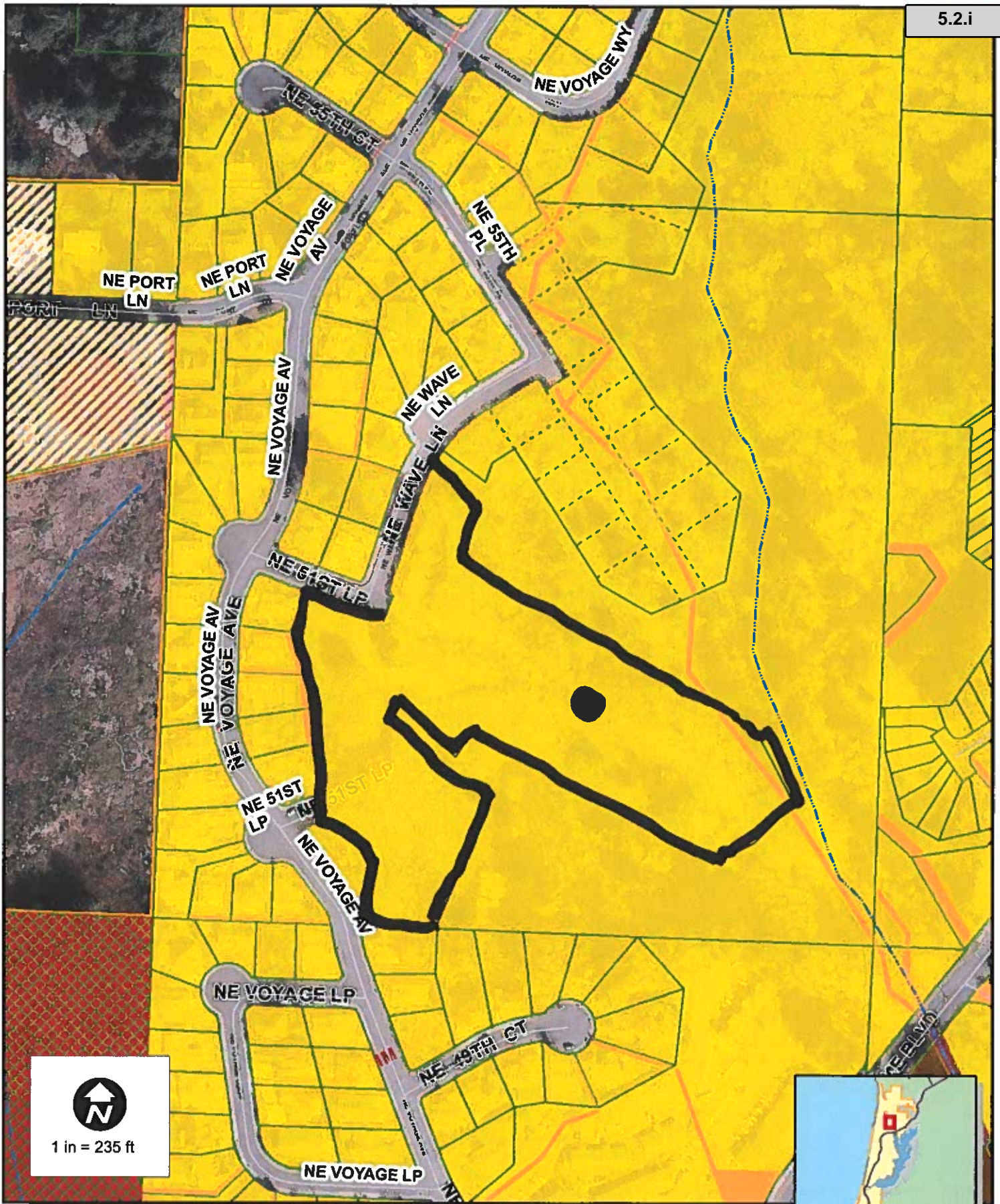
### Vicinity Map

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Date: 11/10/2021



Location



Location



### Vicinity Map

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Date: 11/10/2021